

ROBESHAM VILLAGE

IN

MILFORD, MASSACHUSETTS

(Worcester County)

OWNER

EM Street Milford, LLC
171 Locke Drive
Marlborough, Massachusetts 01752

APPLICANT

EM Street, LLC
80 Hope Avenue, Suite 512
Waltham, Massachusetts 02453

CIVIL ENGINEER/SURVEYOR AND LANDSCAPE ARCHITECT

Beals and Thomas, Inc.
Reservoir Corporate Center
144 Turnpike Road
Southborough, Massachusetts 01772

ARCHITECT

Bennett Sullivan Associates, Inc.
Architects and Planners
Suite 201, Three Pomperaug Office Park
Southbury, Connecticut 06488

ARCHITECT

Nicholaeff Architecture + Design
891 Main street
Osterville, Massachusetts 02655

WasteWater Treatment Design

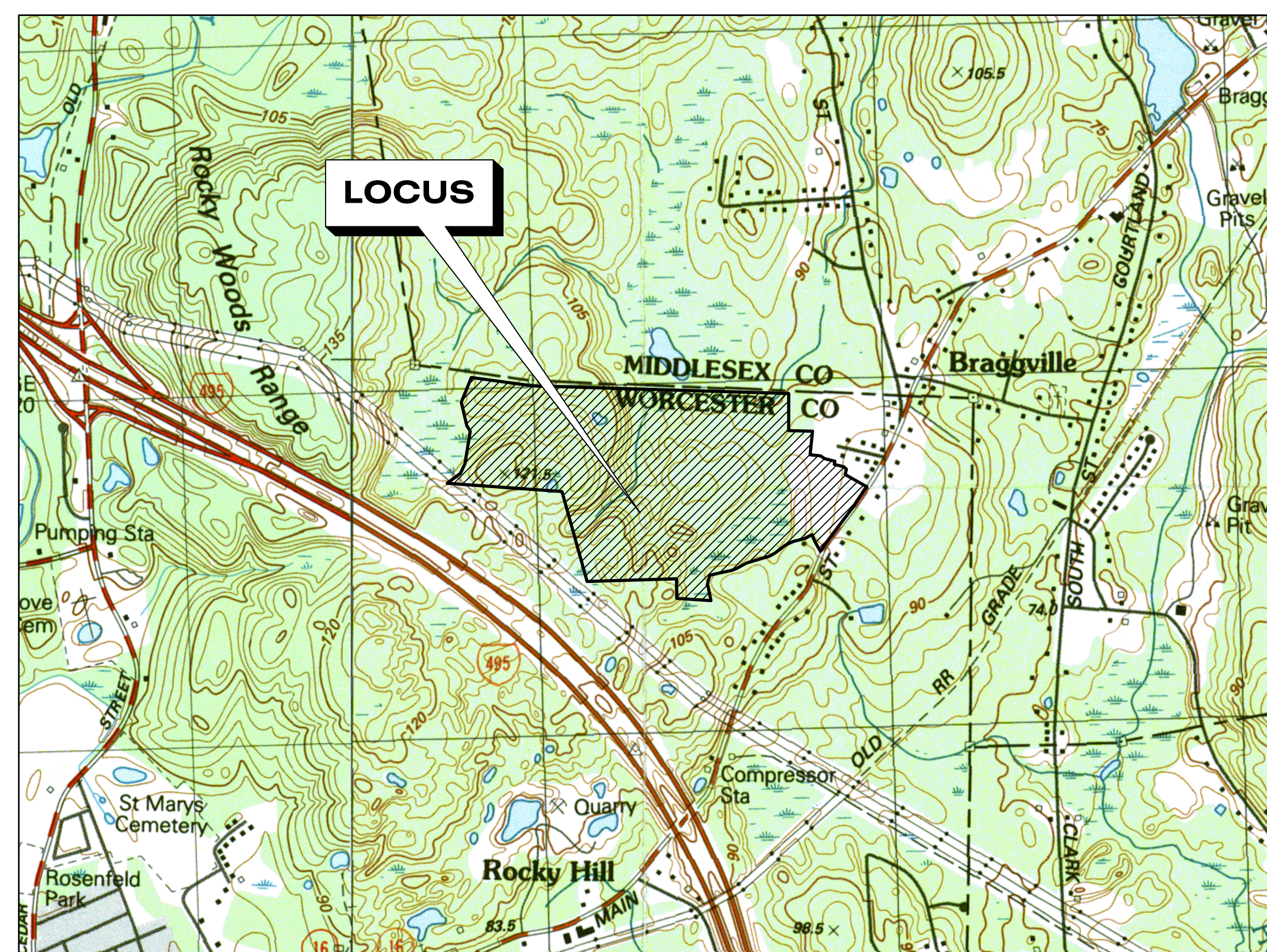
Onsite Engineering
279 East Central Street
Franklin, Massachusetts 02038

Traffic Engineer

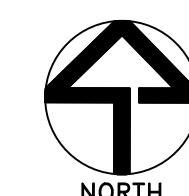
Vanasse Hangen Brustlin, Inc.
101 Walnut Street
Watertown, Massachusetts 02471

Attorney

Blatman, Bobrowski and Haverty, LLC
9 Damonhill Square, Suite 4A4
Concord, Massachusetts 01742



Locus Map
Scale: 1" = 1000'



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Permit Plan Set - October 23, 2017

Job No.: 2706.01
Plan No.: 270601P021A-001

GENERAL NOTES

THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL ALSO PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH THE ENGINEER AND ARCHITECT AS REQUIRED.

CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.

LIMIT OF WORK SHALL BE EROSION CONTROL BARRIERS, LIMIT OF GRADING AND SITE PROPERTY LINES AND/OR AS INDICATED ON DRAWINGS.

PORTIONS OF THE ROADWAY, SIDEWALK AND ROADSIDE AREA DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THEIR CONDITIONS PRIOR TO DISTURBANCE.

CONTRACTOR TO VERIFY UTILITY STUB LOCATIONS AND ELEVATIONS IN THE FIELD PRIOR TO COMMENCING WORK.

ANY ALTERATION TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON RECORD DOCUMENTS.

ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.

EXISTING TREES AND SHRUBS OUTSIDE THE LIMITS OF GRADING SHALL BE REMOVED ONLY UPON PRIOR APPROVAL OF THE OWNER.

FOR DRAWING LEGIBILITY, ALL EXISTING TOPOGRAPHIC FEATURES, EXISTING UTILITIES, PROPERTY BOUNDARIES, EASEMENTS, ETC. MAY NOT BE SHOWN ON ALL DRAWINGS. REFER TO ALL REFERENCED DRAWINGS AND OTHER DRAWINGS IN THIS SET FOR ADDITIONAL INFORMATION.

NEW EXCAVATION AND TRENCH SAFETY REGULATIONS ARE IN EFFECT AS OF MARCH 1, 2015. (REFER TO 520 CMR 14.00) ALL EXCAVATORS OR CONTRACTORS MUST OBTAIN A TRENCH PERMIT PRIOR TO ANY CONSTRUCTION RELATED TRENCHES ON SITE.

LAYOUT AND MATERIALS NOTES

ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.

COORDINATE THE LOCATION OF ALL SITE LIGHT STANDARDS WITH IMPROVEMENTS SHOWN ON THESE DRAWINGS.

CONTRACTOR SHALL REPORT SIGNIFICANT CONFLICTS TO THE OWNER AND THE ENGINEER FOR RESOLUTION.

DIMENSIONS OF PARKING SPACES AND DRIVEWAYS ARE FROM FACE OF CURB TO FACE OF CURB.

DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING TO FACE OF CURB. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER. THE CONTRACTOR SHALL STAKE OUT BUILDING FROM THE LATEST ARCHITECTURAL DRAWINGS.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN SITE PLAN DIMENSIONS AND BUILDING PLANS BEFORE PROCEEDING WITH ANY PORTION OF SITE WORK WHICH MAY BE AFFECTED SO THAT PROPER ADJUSTMENTS TO THE SITE LAYOUT CAN BE MADE IF NECESSARY.

SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAIL CONTIGUOUS TO THE BUILDING, LIGHTING, ENTRANCE PATIO, DOORWAY PADS, LOADING DOCK DETAILS, ETC.

ACCESSIBLE RAMPS SHALL BE PER MASSACHUSETTS STATE CODE AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES (WHICHEVER IS MORE STRINGENT).

EACH HANDICAP PARKING SPACE SHALL BE IDENTIFIED BY A SIGN SIX (6) FEET IN HEIGHT LOCATED AT THE FACE OF THE CURB LINE. THE SIGN SHALL CONTAIN THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AS DESCRIBED IN THE AMERICANS WITH DISABILITIES ACT, PUBLIC LAW 101-336, (SEE DETAIL).

PROTECT EXISTING PROPERTY MONUMENTS AND ABUTTING PROPERTIES DURING CONSTRUCTION ACTIVITIES.

GRADING, DRAINAGE AND UTILITY NOTES

UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES, ARE APPROXIMATE AND ASSUMED. BEFORE COMMENCING SITE WORK IN ANY AREA, CONTACT "DIG SAFE" AT 1-888-344-7233 TO ACCURATELY LOCATE UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. NO EXCAVATION SHALL BE DONE UNTIL UTILITY COMPANIES ARE PROPERLY NOTIFIED IN ADVANCE.

ALL SITE WORK SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS DATED XX/XX/XX PREPARED FOR THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED.

ALL WORK PERFORMED AND ALL MATERIALS FURNISHED SHALL CONFORM WITH THE LINES, GRADES AND OTHER SPECIFIC REQUIREMENTS OR SPECIFICATIONS OF THE TOWN OF MILFORD DPW.

AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT CURBS AND GARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS. PITCH EVENLY BETWEEN SPOT GRADES. GRADE ALL AREAS TO DRAIN.

THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERNATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED. WHERE AN EXISTING UTILITY IS FOUND TO PROPOSED WORK, THE PROPOSED WORKING LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER AND ENGINEER FOR RESOLUTION.

ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE PAVEMENT FINISH GRADE UNLESS OTHERWISE NOTED. RIM ELEVATIONS OF DRAINAGE STRUCTURES AND SANITARY SEWER MANHOLES ARE APPROXIMATE.

INSTALL ALL UTILITIES (INCLUDING CONCRETE PADS) PER UTILITY COMPANY AND DPW STANDARDS.

AN EROSION CONTROL BARRIER SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT AS SHOWN ON THE PLAN PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OPERATIONS.

ALL DRAINAGE PIPES SHALL BE SMOOTH WALLED CORRUGATED POLYETHYLENE PIPE (ADS N-12 OR APPROVED EQUAL) EXCEPT WHERE NOTED OTHERWISE.

ALL GRAVITY SANITARY PIPE SHALL BE SDR-35 PVC UNLESS OTHERWISE NOTED.

WATER LINE SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON.

INSULATE SANITARY PIPES WHERE INVERT DEPTH IS LESS THAN FOUR (4) FEET BELOW FINISHED GRADE.

CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO ORIGINAL CONDITION.

ALL WATER WORKS SHALL CONFORM TO MILFORD DPW, WATER DIVISION SPECIFICATIONS, DETAILS, RULES AND REGULATIONS AND HAVE FIVE (5) FEET OF MINIMUM COVER. GAS, ELECTRIC, TELEPHONE AND FIRE ALARM CONNECTION LOCATIONS AND ROUTING ARE SUBJECT TO REVIEW AND APPROVAL BY APPROPRIATE UTILITY COMPANIES AND FIRE DEPARTMENT.

ABANDON EXISTING UTILITY SERVICES ON SITE ACCORDING TO UTILITY COMPANY AND TOWN OF MILFORD REQUIREMENTS.

THE CONTRACTOR SHALL REMOVE ALL EROSION CONTROL BARRIERS AFTER REVEGETATION OF DISTURBED AREAS AND AFTER APPROVAL OF THE CONSERVATION COMMISSION AND WETLAND SPECIALIST.

ALL WATER UTILITY IMPROVEMENTS SHALL COMPLY WITH THE AMERICAN WATERWORKS ASSOCIATION STANDARDS AND THE TOWN OF MILFORD WATER DEPARTMENT SPECIFICATIONS.

RIP RAP APRONS SHALL BE INSTALLED AT THE OUTLETS FOR ALL CULVERTS.

WETLANDS ARE TO REMAIN UNDISTURBED. NO ENCRoACHMENT PERMITTED.

REFER TO DRAINAGE CALCULATIONS FOR PIPE SIZES.

EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.

STOCKPILED TOPSOIL SHALL BE PLACED NEATLY IN AN AREA INDICATED BY THE OWNER.

PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1/8" PER FOOT UNLESS SPECIFIED. ANY DISCREPANCIES NOT ALLOWING THIS MINIMUM PITCH SHALL BE REPORTED TO THE ENGINEER PRIOR TO CONTINUING WORK.

THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PUDDING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO APPLICATION OF THE FINISH SUBGRADE AND/OR SURFACE PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE AS REQUIRED.

UNLESS OTHERWISE INDICATED, ABANDONED EXISTING UTILITY LINES SHALL BE CAPPED AND ABANDONED IN PLACE UNLESS THEY CONFLICT WITH PROPOSED IMPROVEMENTS. CAP REMAINING PORTIONS WHERE PARTIALLY REMOVED.

PLANTING AND LIGHTING NOTES

ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.

ANY PROPOSED SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITH MATERIAL EQUIVALENT TO THE DESIRED MATERIAL IN OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE. PROPOSED SUBSTITUTIONS WILL ONLY BE CONSIDERED IF SUBMITTED WITH ENUMERATED REASONS WHY SUBSTITUTIONS ARE PROPOSED.

ALL PLANTING BEDS TO BE FILLED WITH SOIL AND CROWDED ABOVE ADJACENT LAWN OR IMPROVED AREAS. ALL PLANTING BEDS TO BE MULCHED WITH AGED PINE BARK MULCH TO A DEPTH OF THREE (3) INCHES.

CAUTION SHALL BE USED NOT TO EXTEND MULCH LAYER ABOVE SOIL LEVEL AT TRUNKS/STEMS OF INSTALLED PLANT MATERIAL.

PROVIDE FIVE (5) FOOT DIAMETER MULCH CIRCLE AROUND ALL INDIVIDUAL TREE PLANTINGS AND CONTINUOUS MULCH BED AROUND SHRUB PLANTINGS.

VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND REPORT ANY CONFLICTS TO THE OWNER OR HIS REPRESENTATIVE.

NO PLANT SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING.

PLANT MATERIALS SHALL BEAR SAME RELATIONSHIP TO GRADE AS THEY BORE TO GRADE IN THE NURSERY.

ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.

LOAM AND SEED ALL DISTURBED AREAS UNLESS OTHERWISE INDICATED.

REGRADE STOCKPILE AREA AFTER REMOVAL OF SURPLUS MATERIALS (SEE SITE WORK SPECIFICATIONS). LOAM AND SEED THE DISTURBED AREA.

DIMENSIONS FOR LIGHT LOCATIONS ARE TO THE CENTER OF MOUNTING POLES.

ALL LIGHT MOUNTING POLES SHALL BE LOCATED AT A MINIMUM OF FIVE (5) FEET FROM BACK OF CURB. POLES SHALL BE FLUSH WITH GRADE UNLESS OTHERWISE NOTED.

CUTOFF LUMINAIRE FIXTURES WILL BE UTILIZED TO ENSURE NO OFF SITE GLARE IS CREATED.

TOPSOIL STRIPPED FROM THE SITE AND PROPERLY STOCKPILED PRIOR TO APPLICATION MAY, UPON APPROVAL OF THE ENGINEER, BE USED FOR PREPARATION OF LAWNS AND PLANTING BEDS. IT SHOULD BE FREE OF LARGE (ONE (1) INCH OR GREATER) COBBLES, ROOTS, OLD SOO, TRASH, WOOD OR OTHER CONTAMINANTS AND BE OF A FRABLE CONSISTENCY AND SUITABLE FOR PLANT GROWTH.

THE LANDSCAPE CONTRACTOR SHALL FURNISH TOPSOIL. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL AND PRODUCTIVE TOPSOIL OF GOOD CLAY-LOAM TYPE. IT SHALL BE FREE OF WEED SEEDS. TOPSOIL SHALL BE WITHOUT ADMIXTURE OF SUBSOIL AND SHALL BE REASONABLY FREE OF STONES, LUMPS, ROOTS, STOCKS AND OTHER FOREIGN MATTER. TOPSOIL SHALL NOT BE WORKED OR APPLIED IN A MUDDY OR WET CONDITION.

PEAT AND ORGANIC MATERIAL STRIPPED FROM AN ALTERED WETLAND IS TO BE PROPERLY STOCKPILED AND USED FOR PREPARATION OF PROPOSED WETLAND AREA. WETLAND SEED SHALL BE FRESH, RECLEANED SEED OF THE LATEST CROP. WETLAND SEED SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL CONTAINERS WHICH SHALL BEAR THE VENDOR'S GUARANTEE OF ANALYSIS.

TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF FOUR (4) INCHES AFTER SETTING ON ALL STRIPPED PLANTED AREAS INCLUDING SLOPE STABILIZATION, LAWN AREAS AND PLANTING BEDS AFTER FILLS ARE PROPERLY SETTLED AND SUBGRADE HAS BEEN APPROVED BY THE OWNER. THE SETTLED TOPSOIL SHALL BE UP TO THE FINISHED GRADE AS CALLED FOR ON THE DRAWINGS. SCARIFY SUBGRADE TO A DEPTH OF TWO (2) INCHES BEFORE PLACING TOPSOIL. REMOVE ALL ROCKS AND DEBRIS FROM SOIL SURFACE AND GRADE TO AN EVEN SURFACE.

SPREAD 10-10-10 FERTILIZER AT A RATE OF TWENTY-TWO (22) POUNDS PER ONE THOUSAND (1,000) SQUARE FEET AND INCORPORATE INTO THE SOIL UNIFORMLY.

APPLY DOLOMITIC LIME AT THE RATE OF ONE HUNDRED (100) POUNDS PER ONE THOUSAND (1,000) SQUARE FEET THE AREAS BEING PREPARED FOR PLANTING.

PLANTING SEED SHALL BE SOWN IN SEASONAL CONDITIONS AS APPROPRIATE FOR GOOD SEED SURVIVAL, OR AT SUCH TIMES AS APPROVED BY THE OWNER. PROVIDE SUFFICIENT HOSE AND SPRINKLER HEADS FOR ADEQUATE WATERING TO MAINTAIN A MOIST SEED BED AT ALL TIMES.

PLANTING SEED SHALL BE SOWN EVENLY WITH MECHANICAL SPREADER OR BY HAND AT THE RATE OF SIX (6) POUNDS PER ONE THOUSAND (1,000) SQUARE FEET. ALL SEEDING SHALL BE DONE ON DAYS WHEN THE WIND DOES NOT EXCEED A VELOCITY OF FIVE (5) MILES PER HOUR AND THE SEED SHALL BE DRY.

AFTER SEEDING, THE SURFACE OF THE SOIL SHALL BE EVENLY RAKED WITH A FINE-TOOTHED RAKE AND THEN ROLLED WITH A HAND ROLLER WEIGHING NOT LESS THAN ONE HUNDRED (100) POUNDS PER FOOT OF WIDTH.

STRAW MULCH SHALL BE SPREAD UNIFORMLY OVER ALL SEEDED AREAS AT THE RATE OF TWO (2) BALES PER ONE THOUSAND (1,000) SQUARE FEET.

WATER, MULCH AND SEED BED THOROUGHLY AND IMMEDIATELY AFTER COMPLETION OF MULCHING. SOIL SHALL BE MOISTENED TO A DEPTH OF FOUR (4) INCHES. CONTRACTOR SHALL INSTRUCT OWNERS REPRESENTATIVE ON APPROPRIATE WATERING PROCEDURES DURING INITIAL ESTABLISHMENT.

IF CERTAIN OF THE LAWN AREAS DO NOT SHOW A PROMPT "CATCH", THESE SHALL BE RESEEDED AT THE SAME RATE AND IN THE SAME MANNER AS BEFORE IN INTERVALS OF TEN (10) DAYS, WHICH PROCESS SHALL CONTINUE UNTIL A GROWTH OF GRASS IS ESTABLISHED OVER THE ENTIRE AREA.

PROTECT NEWLY TOPSOILED, GRADED AND/OR SEEDED AREAS FROM TRAFFIC AND EROSION. KEEP AREAS FREE OF TRASH AND DEBRIS RESULTING FROM LANDSCAPE CONTRACTOR OPERATIONS.

PLACE WARNING SIGNS IN SEEDED AREAS AND ERECT NECESSARY BARRICADES TO PREVENT DAMAGE BY PERSONS OR MACHINES AND MAINTAIN THESE FOR AT LEAST THIRTY (30) DAYS.

REPAIR AND REESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO THE SPECIFIED GRADE AND TOLERANCES.

THE LANDSCAPE CONTRACTOR IS TO CLEAN UP AND REMOVE ANY DEBRIS FROM THE SITE CAUSED BY THE LANDSCAPE CONTRACTOR.

PLANT MATERIAL IS TO BE MAINTAINED BY THE LANDSCAPE CONTRACTOR WHILE THE PROJECT IS UNDERWAY.

PERENNIALS, BULBS AND ANNUALS ARE TO BE PLANTED IN A WELL PREPARED BED WHICH SHALL INCLUDE PEAT AND SLOW RELEASE FERTILIZER. BEDS SHALL BE SKIMMED WITH ONE AND ONE-HALF (1-1/2) INCH TO TWO (2) INCH MULCH (INCLUDING GROUND COVERS).

ALL TREES ALONG SIDEWALKS SHALL HAVE A MINIMUM SIX (6) FOOT BRANCHING HEIGHT.

ALL TREES WITHIN THE FOUR HUNDRED (400) FOOT SIGHT LINE AT THE ENTRY DRIVE SHALL BE INSTALLED AND MAINTAINED WITH A MAXIMUM SIX (6) FOOT BRANCHING HEIGHT. SHRUBS WITHIN THE FOUR HUNDRED (400) FOOT SIGHT LINE AT THE ENTRY DRIVE SHALL BE INSTALLED AND MAINTAINED TO A MAXIMUM HEIGHT OF EIGHTEEN (18) INCHES.

LIGHT POLES LOCATED IN PLANTING ISLANDS SHALL BE CENTERED BETWEEN EDGES OF PAVEMENT ON OPPOSITE SIDES OF THE POLE. LIGHT POLES IN PARKING AREAS SHALL BE CENTERED ON THE INTERSECTIONS OF PAINT STRIPES.

EROSION CONTROL AND SEDIMENTATION NOTES

AN EROSION CONTROL BARRIER SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT AS INDICATED IN THE PLAN PRIOR TO THE COMMENCEMENT OF DEMOLITION OR CONSTRUCTION OPERATIONS.

CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES DURING ENTIRE CONSTRUCTION PERIOD.

ANY SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.

ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN LIMIT OF WORK LINE AND STABILIZED TO PREVENT EROSION.

ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OF OFF SITE.

PROVIDE CRIBBING AS NECESSARY TO PROTECT EXISTING UTILITY LINES DURING CONSTRUCTION. SITE ELEMENTS TO REMAIN MUST BE PROTECTED FOR DURATION OF PROJECT.

ALL TOPSOIL ENCOUNTERED WITHIN WORK AREA SHALL BE STRIPPED TO ITS FULL DEPTH AND STOCKPILED FOR REUSE. EXCESS TOPSOIL SHALL BE DISPOSED OF ON SITE AS DIRECTED BY OWNER. TOPSOIL PILES SHALL REMAIN SEGREGATED FROM EXCAVATED SUBSURFACE SOIL MATERIALS.

ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.

ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.

ALL AREAS IDENTIFIED AS CRITICAL AREA SEEDING SHALL BE STABILIZED DURING CONSTRUCTION BY SEEDING WITH ANNUAL RYE GRASS AT THE RATE OF FORTY (40) LBS/ACRE.

TEMPORARY DIVERSION DITCHES, PERMANENT DITCHES, CHANNELS, EMBANKMENTS AND ANY DENUDEED SURFACE WHICH WILL BE EXPOSED FOR A PERIOD OF ONE MONTH OR MORE SHALL BE CONSIDERED CRITICAL VEGETATION AREAS. THESE AREAS SHALL BE MULCHED WITH STRAW. MULCH SHALL BE SPREAD UNIFORMLY IN A CONTINUOUS BLANKET OF SUFFICIENT THICKNESS TO COMPLETELY HIDE THE SOIL FROM VIEW.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS DURING CONSTRUCTION TO INSURE THAT CHANNELS, DITCHES AND PIPES ARE CLEAR OF DEBRIS AND THAT THE EROSION CONTROL BARRIERS ARE INTACT.

CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY OWNER.

DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR HIS REPRESENTATIVE.

STRAW BALE CHECK DAMS SHALL BE PROVIDED AROUND ALL EXISTING DRAIN INLETS PRIOR TO CONSTRUCTION ACTIVITIES AND AROUND ALL PROPOSED DRAIN INLETS PRIOR TO PERMANENT PAVEMENT TO CONTROL SILTATION.

STRAW BALE CHECK DAMS ARE TO BE PROVIDED ON TWO HUNDRED (200) FOOT SPACINGS WITHIN ALL DRAINAGE SWALES AND DITCHES AND AT UPSTREAM SIDES OF ALL DRAINAGE INLETS.

RIP RAP SPLASH PADS SHALL BE INSTALLED AT THE OUTLETS FOR ALL CULVERTS DISCHARGING ADJACENT TO A WATERWAY.

EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE WETLANDS.

ADDITIONAL STRAW BALES SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR HIS REPRESENTATIVE.

CLEAN AND MAINTAIN EROSION CONTROL BARRIER AS REQUIRED DURING CONSTRUCTION OPERATIONS TO ENSURE ITS CONTINUED FUNCTIONALITY.

LEGEND AND ABBREVIATIONS

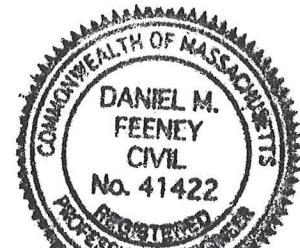
EXISTING	PROPOSED	EXISTING	PROPOSED
SEWER LINE/MANHOLE		100' BUFFER ZONE	
DRAIN LINE/MANHOLE		MINOR CONTOUR	
CATCH BASIN		MAJOR CONTOUR	
FLARED END/INVERT		SPOT ELEVATION	
GAS LINE/GATE		ECEME OF WATER	
WATER LINE/GATE		AREA DRAIN	
HYDRANT		BITUMINOUS CONCRETE	
POST INDICATOR VALVE		BENCHMARK	
TELEPHONE LINE/MANHOLE		CAPE COD BERM	
ELECTRIC LINE/MANHOLE		CABLE TELEVISION	
OVERHEAD WIRE		CEMENT LINED DUCTILE IRON	
LIGHT POLE		CONCRETE	
UTILITY POLE		CORRUGATED METAL PIPE	
GUY WIRE		CORRUGATED POLYETHYLENE	
SIGN		DOOR	
POST		DOUBLE CATCH BASIN	
BOLLARD POST		DROP INLET	
HAND HOLE		ELECTRIC METER	
CHAIN LINK FENCE		EDGE OF PAVEMENT	
GUARDRAIL/GUIDERAIL		GAS METER	
CONCRETE CURB		HEAD WALL	
GRANITE CURB		LOADING DOCK	
BITUMINOUS CONCRETE BERM		OUTLET CONTROL STRUCTURE	
TREE		POINT OF BEGINNING	
PVC		POLYVINYL CHLORIDE	
REINFORCED CONCRETE PIPE		ROOF DRAIN	
RIGHT-OF-WAY		SLOPED GRANITE CURB	
ELECTRIC TRANSFORMER		WATER QUALITY INLET	
WING WALL			
STONE BOUND			
CONCRETE BOUND			
DRILL HOLE			
IRON PIN/IRON PIPE			
IRON ROD			
FOUND			
ESCUTCHEON PIN, LEAD PLUG			
LAND COURT DISK			
MASSACHUSETTS HIGHWAY BOUND			
STONE BOUND (TO BE SET)			
CONCRETE BOUND (TO BE SET)			
STAKE AND NAIL			
SPIKE			
PK NAIL			

PREPARED FOR:

EM STREET LLC
171 LOCKE DRIVE
MARLBOROUGH, MASSACHUSETTS 01752

RECORD OWNER:

EM STREET MILFORD, LLC
43719/205



NICHOLAEFF ARCHITECTURE + DESIGN

891 Main Street
Osterville, MA 02665
T 508 420 5288
F 508 420 2240
nicholaeff.com

B S A
Bennett Sullivan Associates, Inc.
Architects and Planners
Suite 201, Three Pomperaug Office Park
Southbury, Connecticut 06488
203.264.8202

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PREPARED BY:



BEALS AND THOMAS, INC.
Reservoir Corporate Center
144 Turnpike Road
Southborough, Massachusetts 01772-2104
T 508.366.0560 | www.bealsandthomas.com

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2			
1			
0	10/23/2017	FIRST ISSUE	
	ISSUE DATE	DESCRIPTION	
	DMF	JRA	DMF
	DES	DWN	CHK'D APP'D

PROJECT:

**ROBSHAM VILLAGE
462-466 EAST MAIN
STREET**

MILFORD, MASSACHUSETTS 01757
(WORCESTER COUNTY)

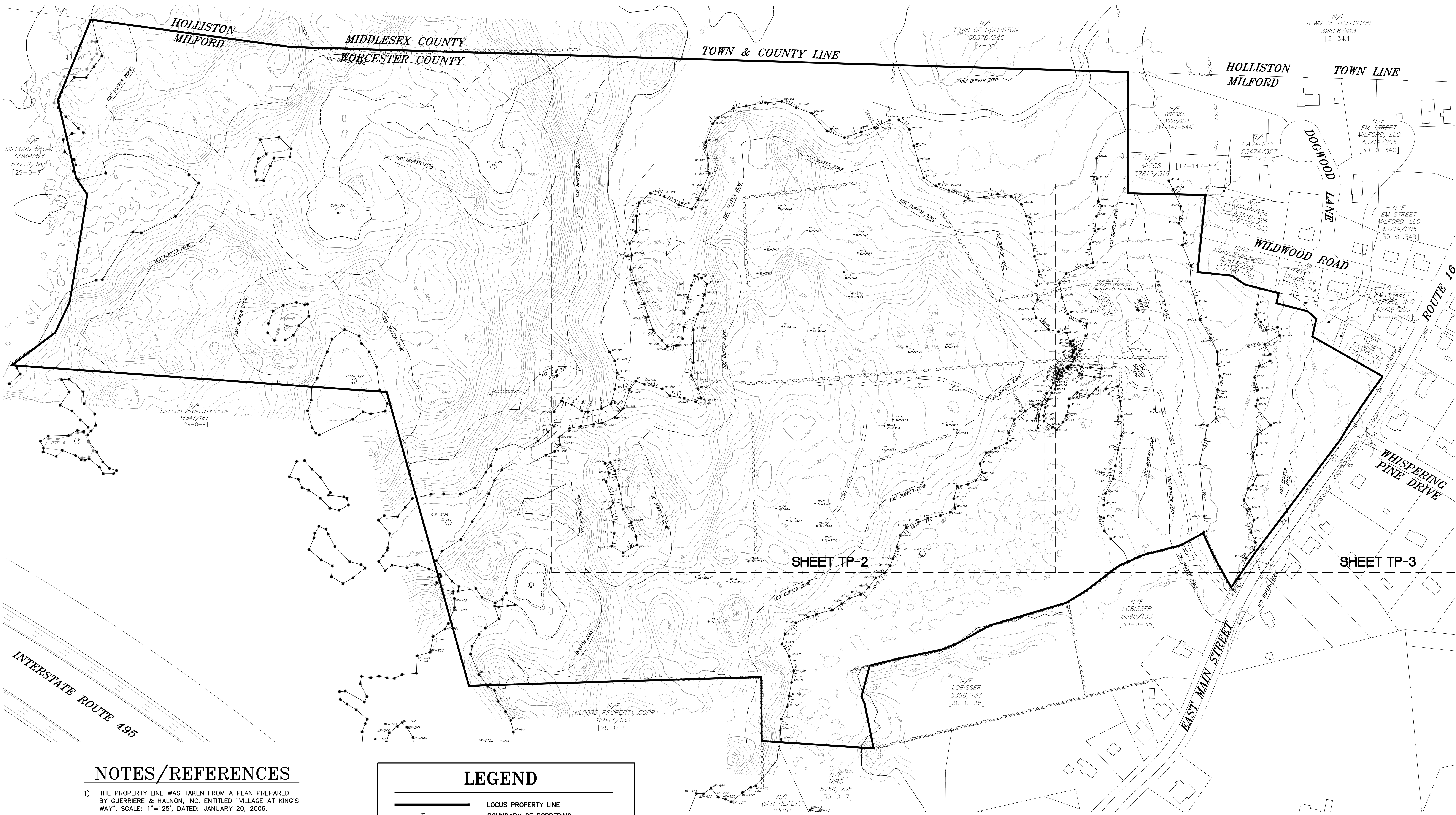
SCALE: N/A DATE: OCTOBER 23, 2017

NOTES, REFERENCES AND LEGEND

B+T JOB NO. 2706.01	C1.1
B+T PLAN NO. 270601P021A-002	

BEALS AND THOMAS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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NOTES/REFERENCES

- 1) THE PROPERTY LINE WAS TAKEN FROM A PLAN PREPARED BY GUERRIERE & HALNON, INC. ENTITLED "VILLAGE AT KING'S WAY", SCALE: 1"=125', DATED: JANUARY 20, 2006.
- 2) WETLAND RESOURCE AREAS DELINEATED BY BEALS AND THOMAS, INC. ON DECEMBER 16, 2016.
- 3) WETLAND RESOURCE AREA FLAGS LOCATED BY TOTAL STATION METHODS BY BEALS AND THOMAS, INC. ON OR BETWEEN JANUARY 10, 2017 AND JANUARY 27, 2017.
- 4) OTHER WETLAND RESOURCE AREAS COMPILED FROM VARIOUS SOURCES: GPS METHODS BY BEALS AND THOMAS, INC.; TETRA TECH; MASS GIS.
- 5) ABUTTING PARCEL LINES, POTENTIAL VERNAL POOL LOCATIONS, AND CERTIFIED VERNAL POOL LOCATIONS SHOWN FROM MASS GIS.
- 6) ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- 7) TOPOGRAPHIC LIDAR INFORMATION TAKEN FROM NOAA DIGITAL COAST DATA VIEWER. DATA SET ENTITLED "2010-LIDAR REGION 1" COMPILED 16.7 CM FUNDAMENTAL VERTICAL ACCURACY AT 95 PERCENT CONFIDENCE LEVEL IN OPEN TERRAIN USING RMSE_z X 1.9600 COMPILED 30.4 CM CONSOLIDATED VERTICAL ACCURACY AT 95 PERCENT CONFIDENCE LEVEL IN OPEN TERRAIN (PAVEMENT, OPEN DIRT, SHORT GRASS), HIGH GRASS AND CROPS, BRUSH AND LOW TREES, FOREST, URBAN. CONTOURS MUST BE VERIFIED PRIOR TO USE FOR CONSTRUCTION DESIGN.
- 8) UNDERGROUND UTILITIES IN EAST MAIN STREET WERE COMPILED FROM PLAN "OAKMONT AT MILFORD II, GRADING PLAN, FOR, PLAN OF LAND, IN MILFORD, MA" SCALE 1"=40' DATED JUNE 18, 2002 AND ARE APPROXIMATE ONLY. BEFORE CONSTRUCTION CALL "DIG SAFE" 1-888-344-7233.
- 9) PORTIONS OF THE STONE WALLS SHOWN WERE DIGITIZED FROM PLAN BY GUERRIERE & HALNON, INC. "VILLAGE AT KING'S WAY PRE DEVELOPMENT FOR PLAN OF LAND IN MILFORD, MA" SCALE 1"=100' DATED 01/31/2006.
- 10) THE POSITIONAL ACCURACY OF THE DATA AND PHYSICAL IMPROVEMENTS ON THIS PLAN MAY BE APPROXIMATE. ANY USE OF ELECTRONIC DATA CONTAINED IN AUTOCAD VERSIONS OF THIS PLAN TO GENERATE COORDINATES OR DIMENSIONS NOT SHOWN ON THE PLAN IS NOT AUTHORIZED.

LEGEND

	LOCUS PROPERTY LINE
	BOUNDARY OF BORDERING VEGETATED WETLAND/WETLAND FLAG
	BANK/BANK FLAG
	WETLAND LINE FROM OTHER SOURCES
	WETLAND LINE FROM OTHER SOURCES
	100' BUFFER ZONE
	STREAM
	STONE WALL
	POTENTIAL VERNAL POOL
	WATER LINE
	GAS LINE
	DRAIN LINE
	CERTIFIED VERNAL POOL FROM MASS GIS w/NHESP NUMBER
	POTENTIAL VERNAL POOL
	UTILITY POLE
	HYDRANT
	WATER GATE
	GAS GATE
	CATCH BASIN
	DRAIN MANHOLE
	TEST PIT

FOR NOTES, REFERENCES AND LEGEND SEE SHEET C1.1.

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PREPARED FOR:

EM STREET LLC

171 LOCKE DRIVE
MARLBOROUGH, MASSACHUSETTS
01752

RECORD OWNER:

EM STREET MILFORD, LLC

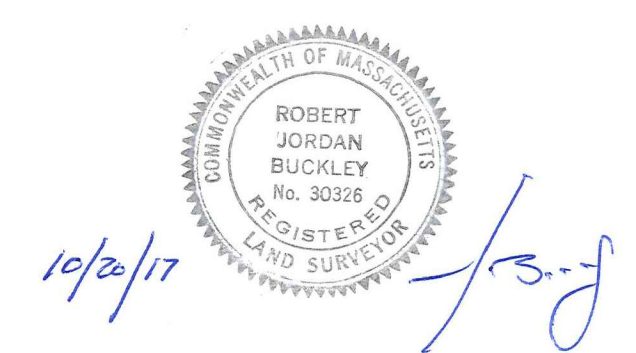
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Southborough, Massachusetts 01772-2104
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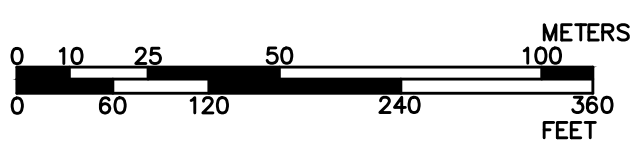
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1	06/01/2017	CART PATHS/TEST PITS	
0	04/07/2016	INITIAL ISSUE	
ISSUE DATE		DESCRIPTION	
EFT	EFT	CEM	RJB
DES	DWN	CHK'D	APP'D

PROJECT:

ROBSHAM VILLAGE 462-466 EAST MAIN STREET

MILFORD, MASSACHUSETTS
01757
(WORCESTER COUNTY)

SCALE: 1" = 120' DATE: APRIL 07, 2016



TOPOGRAPHIC INDEX PLAN

B+T JOB NO.2706.01

B+T PLAN NO.
270601P003C-001

SHEET No. 1 OF 3

TP-1



PREPARED FOR:

EM STREET LLC

171 LOCKE DRIVE
MARLBOROUGH, MASSACHUSETTS 01752

RECORD OWNER:

EM STREET MILFORD, LLC

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10/2/17

ROBERT JORDAN BUCKLEY
No. 30208
MASSACHUSETTS
LAND SURVEYOR

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ISSUE DATE		DESCRIPTION	
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DES	DWN	CHK'D	APP'D

PROJECT:

**ROBSHAM VILLAGE
462-466 EAST MAIN STREET**

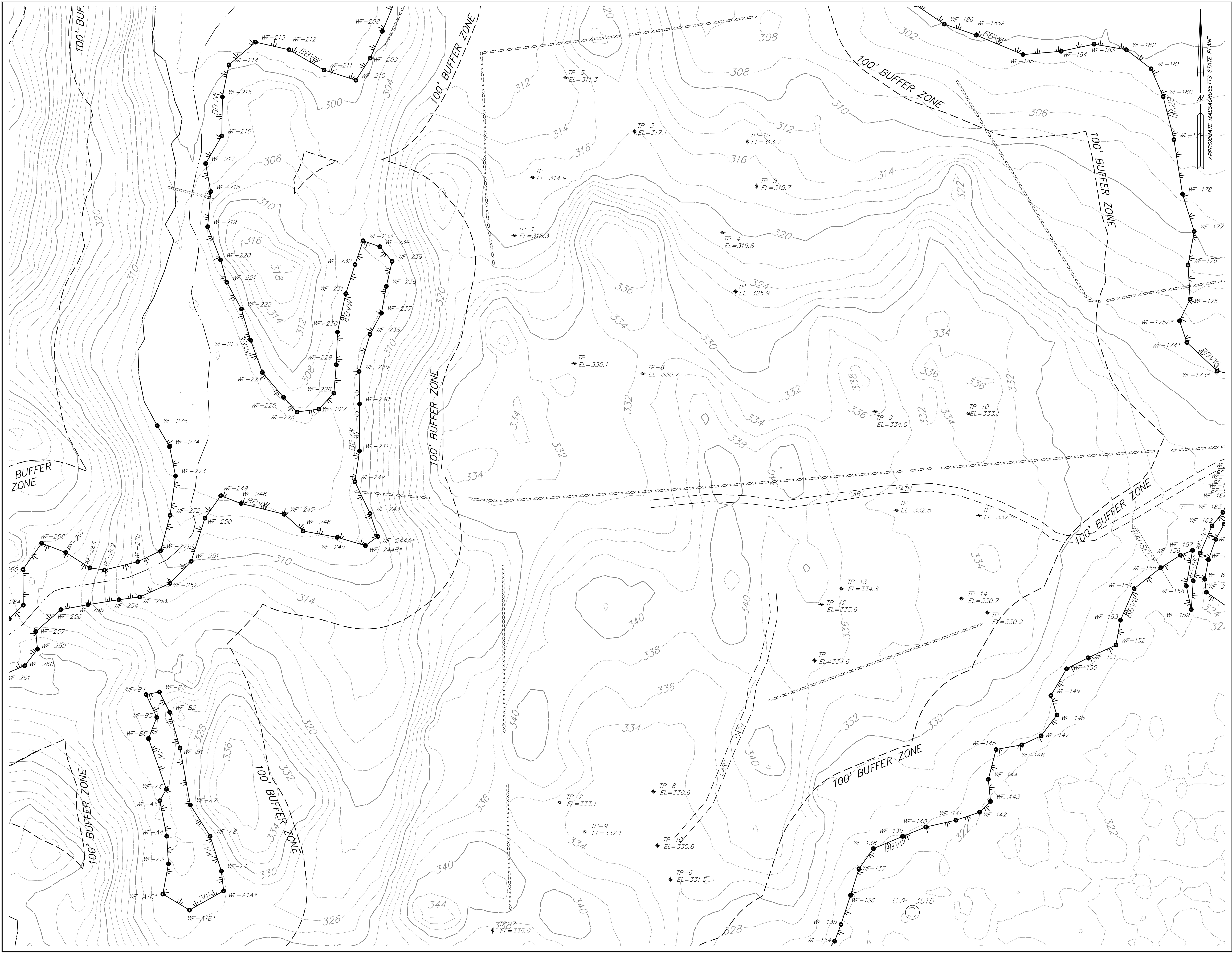
MILFORD, MASSACHUSETTS
01757
(WORCESTER COUNTY)

SCALE: 1" = 40' DATE: APRIL 07, 2016

METERS
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FEET
0 20 40 60 120

TOPOGRAPHIC PLAN

B+T JOB NO.2706.01	TP-2
B+T PLAN NO. 270601P003C-002	
SHEET No. 2 OF 3	



PREPARED FOR:

EM STREET LLC
171 LOCKE DRIVE
MARLBOROUGH, MASSACHUSETTS
01752

RECORD OWNER:

EM STREET MILFORD, LLC
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10/2/17

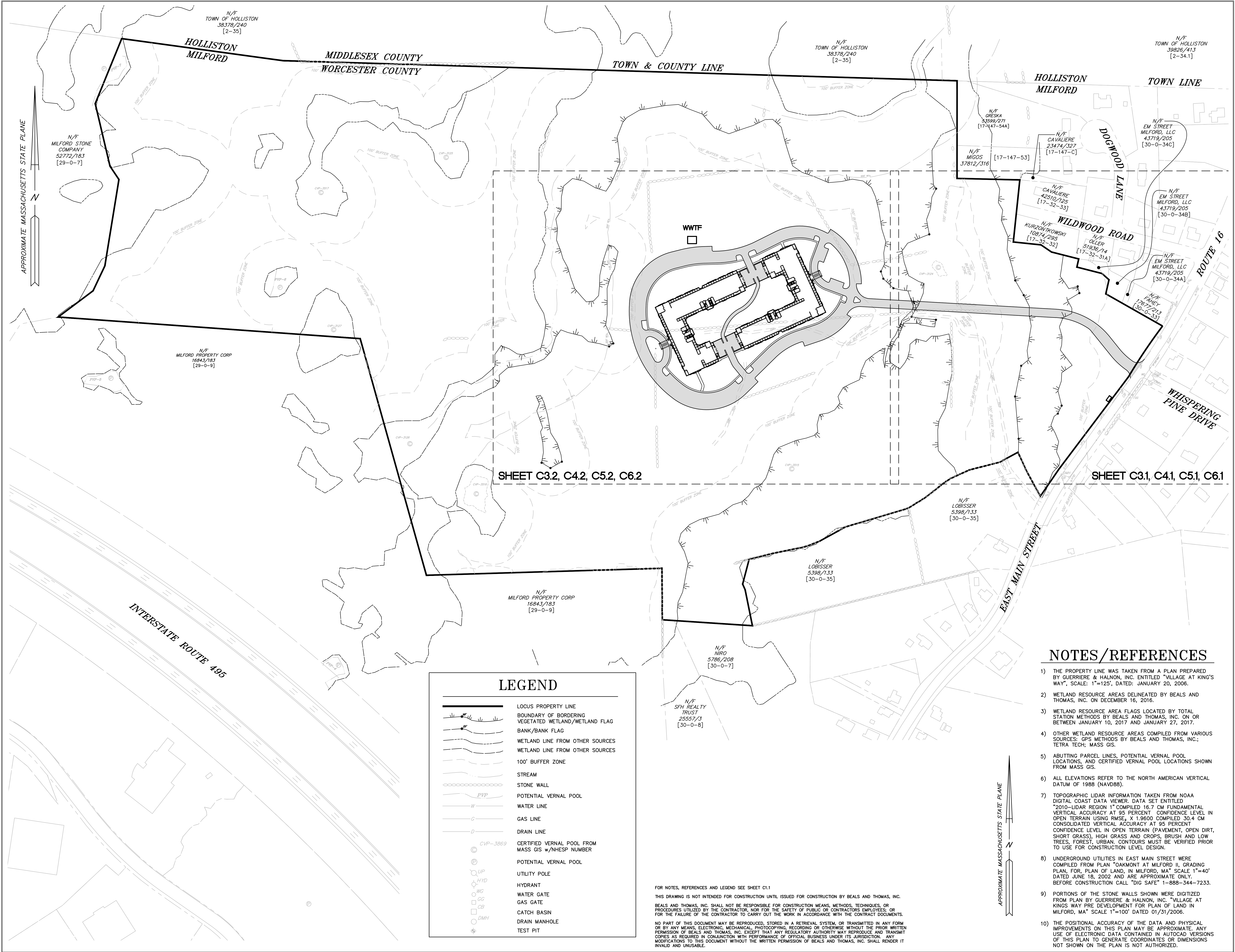
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EFT	EFT	CEM	RJB	
DES	DWN	CHK'D	APP'D	

PROJECT:
**ROBSHAM VILLAGE
462-466 EAST MAIN
STREET**
MILFORD, MASSACHUSETTS
01757
(WORCESTER COUNTY)

SCALE: 1" = 40' DATE: APRIL 07, 2016

TOPOGRAPHIC PLAN

B+T JOB NO.2706.01	TP-3
B+T PLAN NO. 270601P003C-003	
SHEET No. 3 OF 3	



PREPARED FOR:

EM STREET LLC
171 LOCKE DRIVE
MARLBOROUGH, MASSACHUSETTS 01752

RECORD OWNER:

EM STREET MILFORD, LLC
43719/205

NICHOLAEFF
ARCHITECTURE + DESIGN
891 Main Street
Osterville, MA 02655
T 508 420 5288
F 508 420 2240
nicholaeff.com

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PROJECT:

ROBSHAM VILLAGE
462-466 EAST MAIN STREET
MILFORD, MASSACHUSETTS 01757
(WORCESTER COUNTY)

SCALE: 1" = 120' DATE: OCTOBER 20, 2017

INDEX PLAN

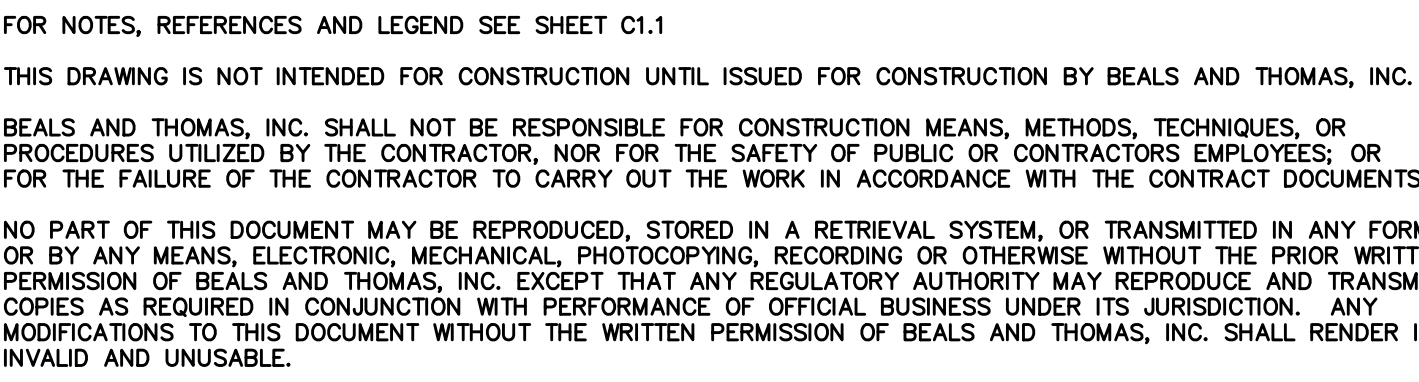
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B+T PLAN NO. 270601P022A-001

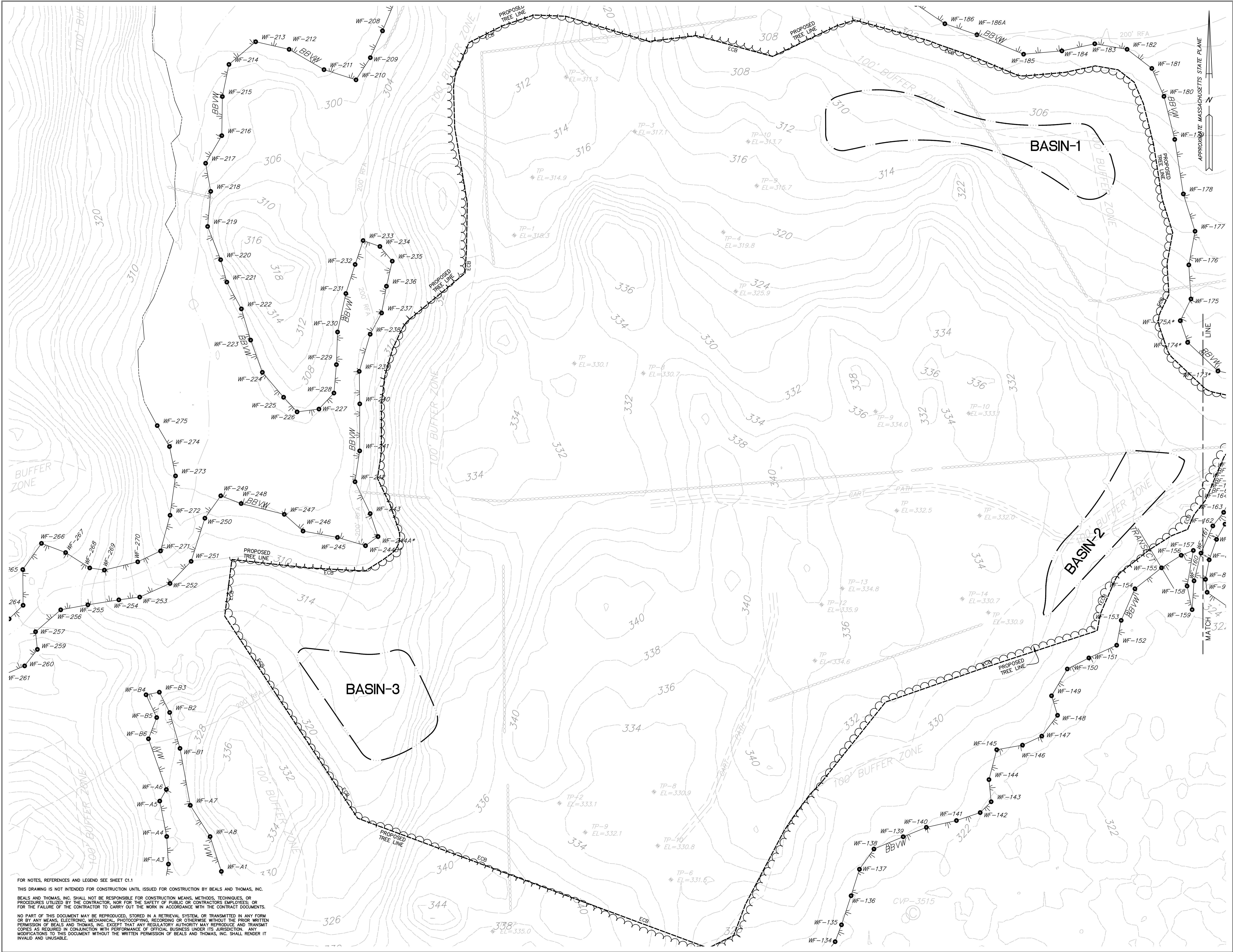
C21

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C3.1



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PREPARED FOR:

EM STREET LLC

171 LOCKE DRIVE
MARLBOROUGH, MASSACHUSETTS
01752

RECORD OWNER:

EM STREET MILFORD, LLC

43719/205

NICHOLAEFF
ARCHITECTURE + DESIGN

891 Main Street
Osterville, MA 02655
T 508 420 5289
F 508 420 2240
nicholaeff.com

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Architects and Planners
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PROJECT:

ROBSHAM VILLAGE
462-466 EAST MAIN
STREET

MILFORD, MASSACHUSETTS
01757
(WORCESTER COUNTY)

SCALE: 1" = 40'

DATE: OCTOBER 20, 2017

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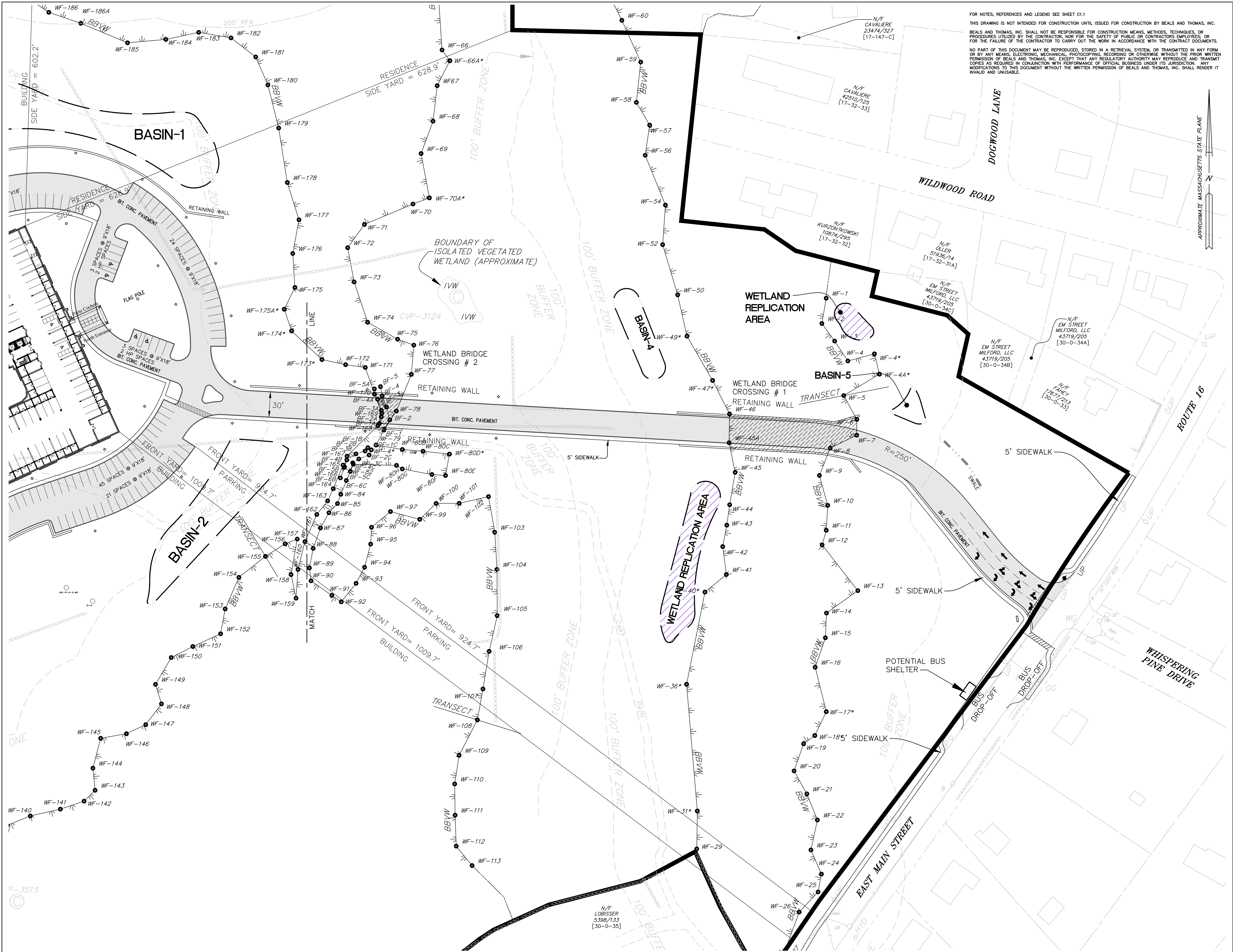
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SITE PREPARATION
PLAN

B+T JOB NO. 2706.01

B+T PLAN NO.
270601P022A-003

C3.2



FOR NOTES, REFERENCES AND LEGEND SEE SHEET C1.1

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171 LOCKE DRIVE
MARLBOROUGH, MASSACHUSETTS 01752

RECORD OWNER:

EM STREET MILFORD, LLC

43719/205

NICHOLAEFF ARCHITECTURE + DESIGN

891 Main Street
Osterville, MA 02655
T 508 420 5289
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PROJECT:

**ROBSHAM VILLAGE
462-466 EAST MAIN STREET**

MILFORD, MASSACHUSETTS 01757
(WORCESTER COUNTY)

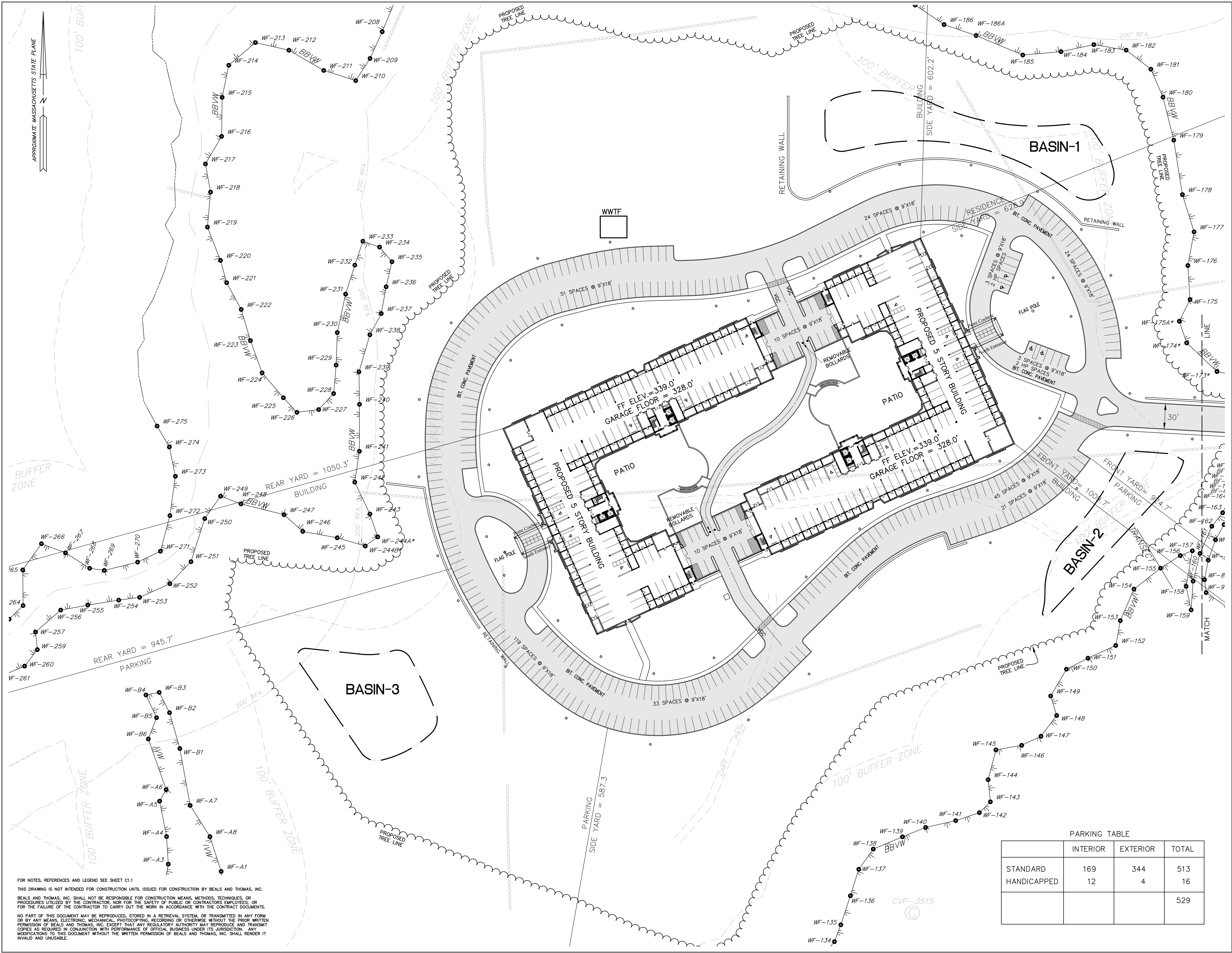
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LAYOUT AND MATERIALS PLAN

B+T JOB NO. 2706.01

B+T PLAN NO. 270601P022A-004

C4.1



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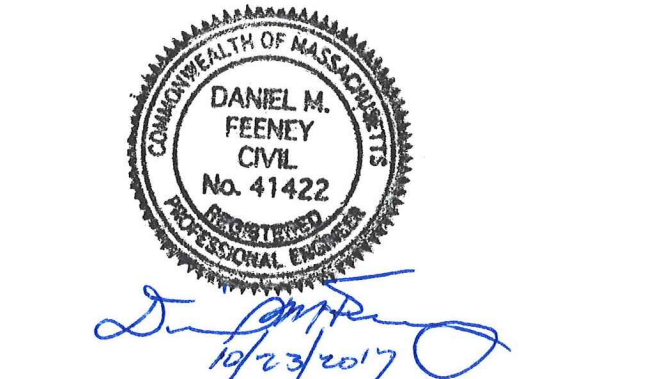
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PREPARED FOR:

EM STREET LLC
171 LOCKE DRIVE
MARLBOROUGH, MASSACHUSETTS
01752

RECORD OWNER:

EM STREET MILFORD, LLC
43719/205



NICHOLAEFF ARCHITECTURE + DESIGN
891 Main Street
Osterville, MA 02655
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F 508 420 2240
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DES	DWN	CHK'D APP'D

PROJECT:
**ROBSHAM VILLAGE
462-466 EAST MAIN
STREET**
MILFORD, MASSACHUSETTS
01757
(WORCESTER COUNTY)

SCALE: 1" = 40' DATE: OCTOBER 20, 2017



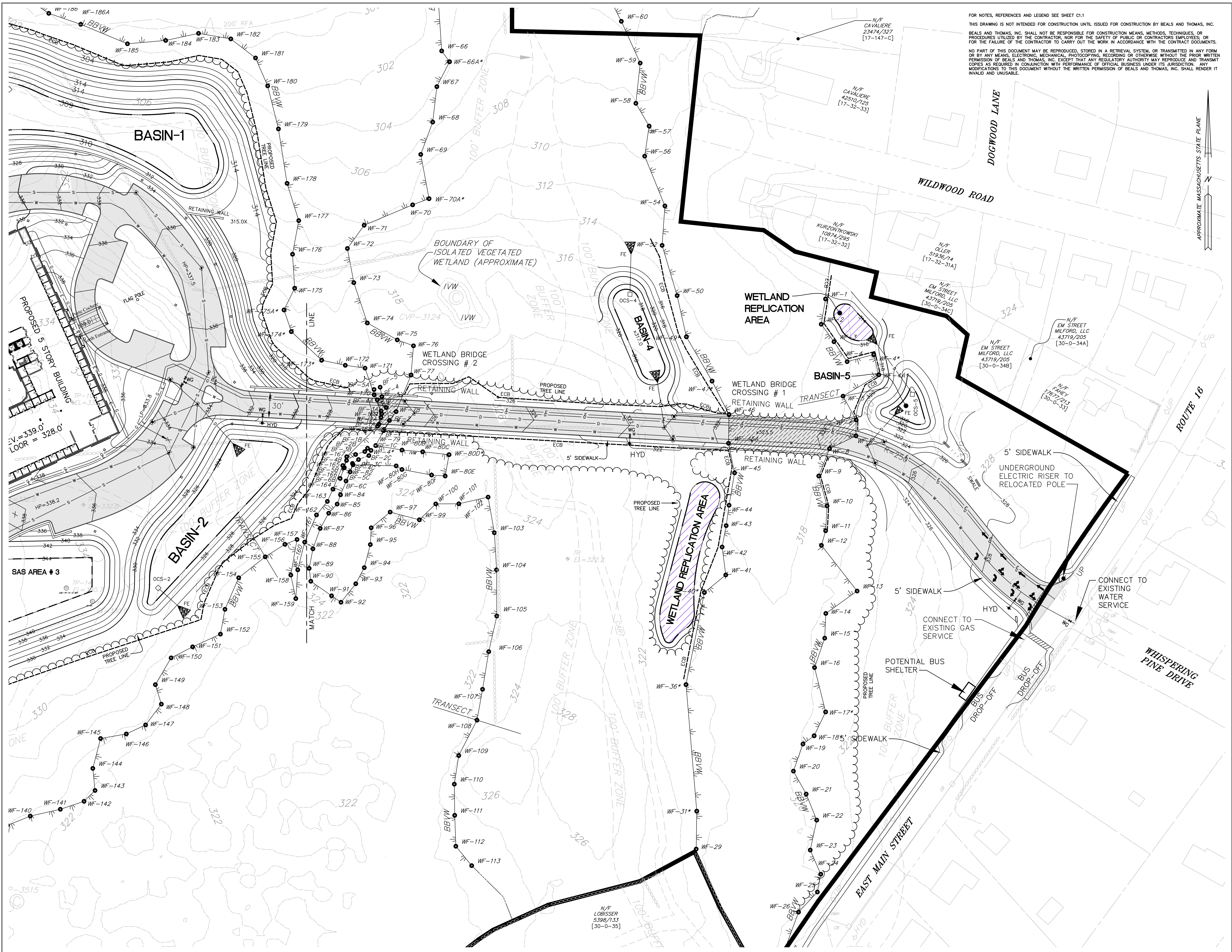
**LAYOUT AND
MATERIALS PLAN**

B+T JOB NO. 2706.01

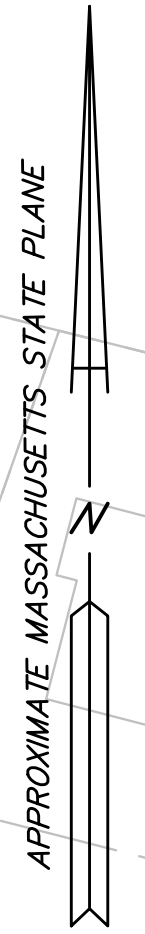
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C4.2

	PARKING TABLE		
	INTERIOR	EXTERIOR	TOTAL
STANDARD	169	344	513
HANDICAPPED	12	4	16
			529



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PREPARED FOR:

EM STREET LLC
171 LOCKE DRIVE
MARLBOROUGH, MASSACHUSETTS 01752

RECORD OWNER:

EM STREET MILFORD, LLC
43719/205

DANIEL M. FEENEY
10/23/2017

NICHOLAEFF
ARCHITECTURE + DESIGN
891 Main Street
Osterville, MA 02655
T 508 420 5289
F 508 420 2240
nicholaeff.com

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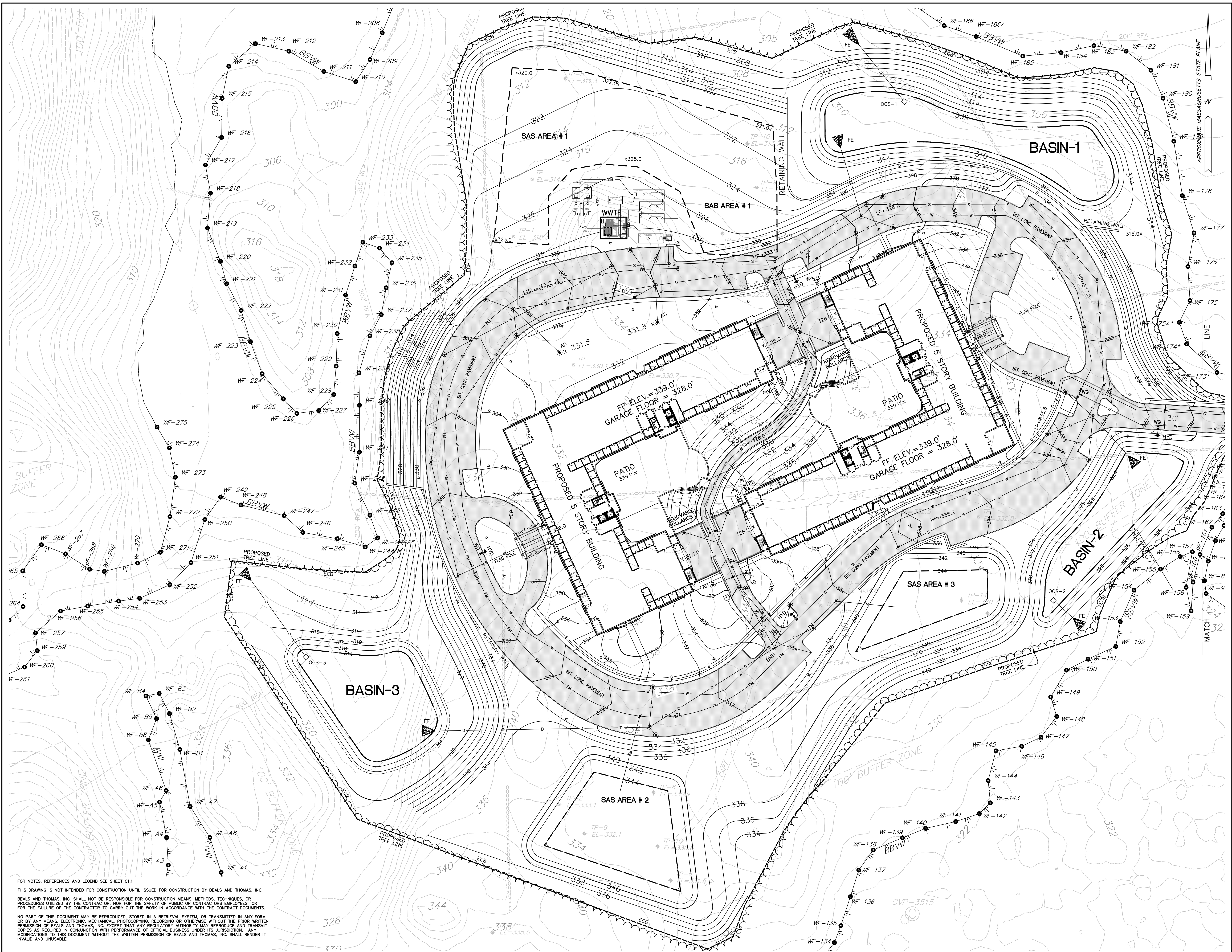
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**GRADING, DRAINAGE
AND UTILITY PLAN**

B+T JOB NO. 2706.01

B+T PLAN NO.
270601P022A-006

C5.1



FOR NOTES, REFERENCES AND LEGEND SEE SHEET C1.1

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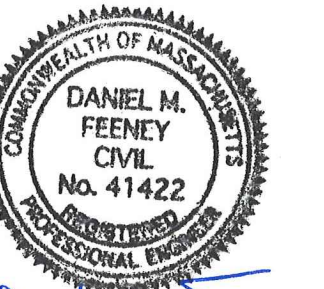
EM STREET LLC

171 LOCKE DRIVE
MARLBOROUGH, MASSACHUSETTS
01752

RECORD OWNER:

EM STREET MILFORD, LLC

43719/205



NICHOLAEFF ARCHITECTURE + DESIGN

891 Main Street
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T 508 420 5288
F 508 420 2240
nicholaeff.com

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Architects and Planners
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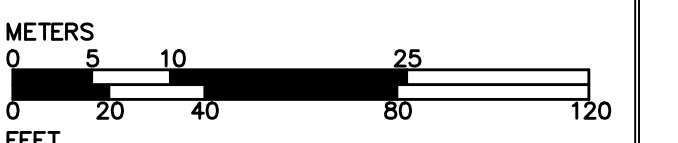
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DMF	JRA	DMF	DMF	
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PROJECT:

**ROBHAM VILLAGE
462-466 EAST MAIN
STREET**

MILFORD, MASSACHUSETTS
01757
(WORCESTER COUNTY)

SCALE: 1" = 40' DATE: OCTOBER 20, 2017

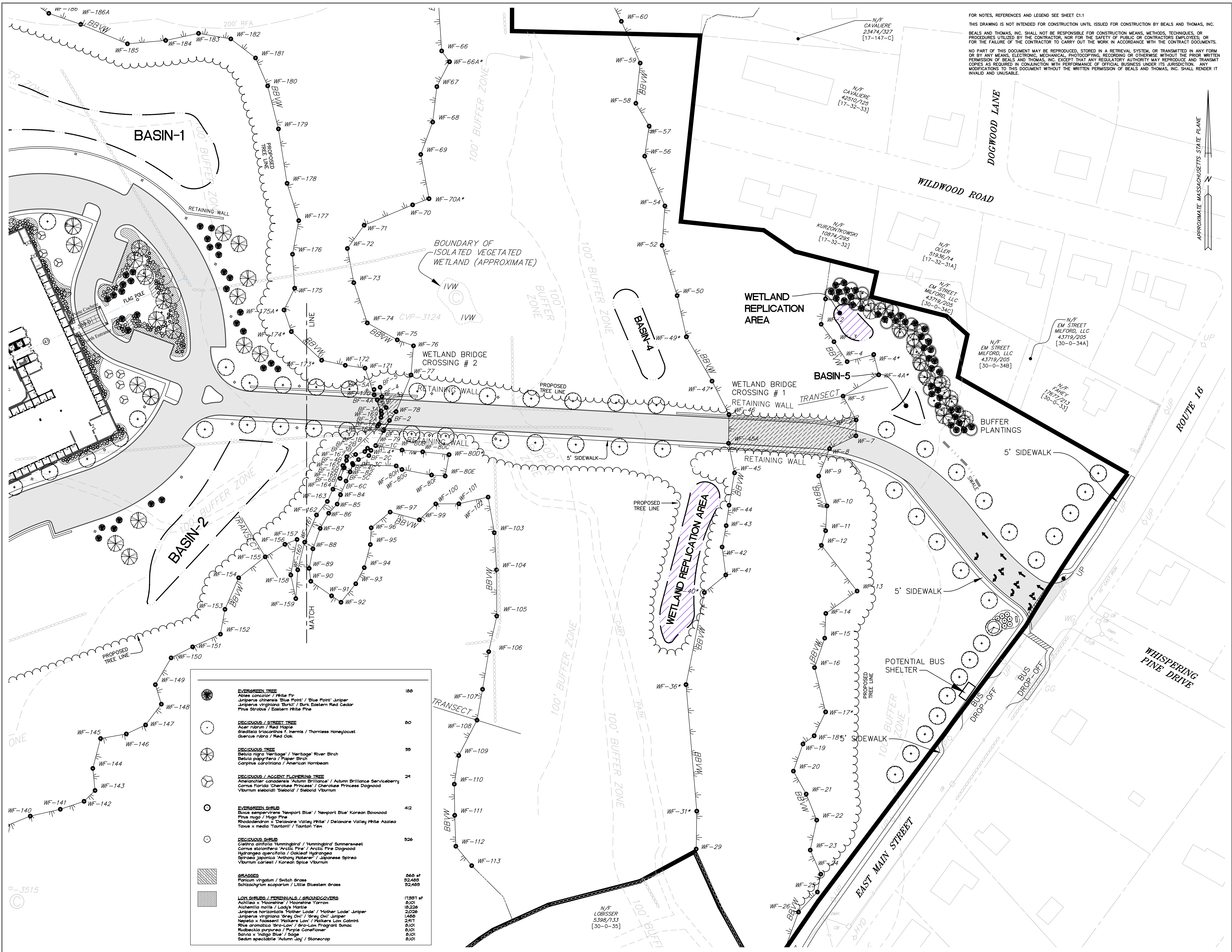


**GRADING, DRAINAGE
AND UTILITY PLAN**

B+T JOB NO. 2706.01

B+T PLAN NO.
270601P022A-007

C5.2



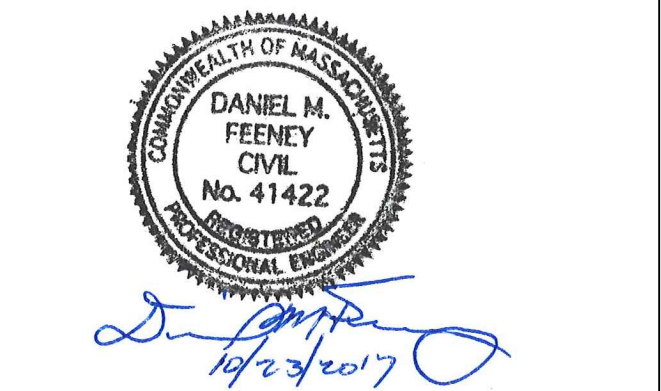
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**EM STREET
LLC**
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MARLBOROUGH, MASSACHUSETTS
01752

RECORD OWNER:

**EM STREET
MILFORD, LLC**
43719/205



**NICHOLAEFF
ARCHITECTURE + DESIGN**
891 Main Street
Osterville, MA 02655
T 508 420 5289
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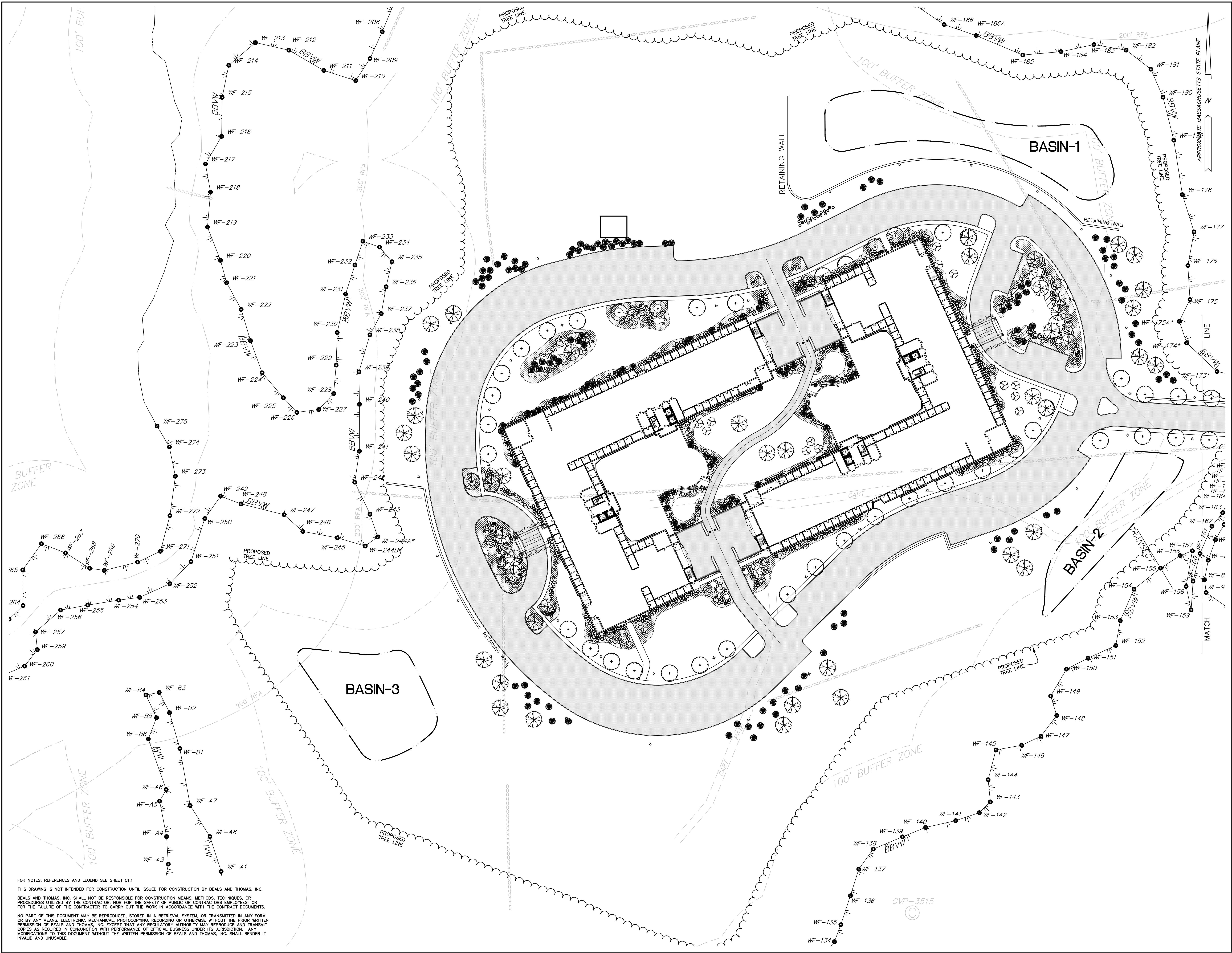
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PROJECT:
**ROBHAM VILLAGE
462-466 EAST MAIN
STREET**
MILFORD, MASSACHUSETTS
01757
(WORCESTER COUNTY)

SCALE: 1" = 40' DATE: OCTOBER 20, 2017
METERS
0 5 10 25
FEET
0 20 40 80 120

**LANDSCAPE AND
LIGHTING PLAN**

B+T JOB NO. 2706.01
B+T PLAN NO.
270601P022A-008
C6.1



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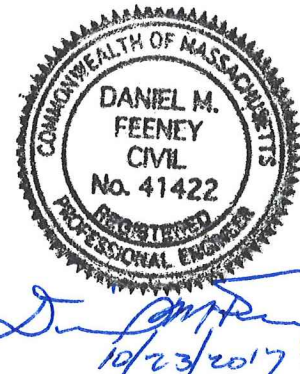
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EM STREET LLC
171 LOCKE DRIVE
MARLBOROUGH, MASSACHUSETTS
01752

RECORD OWNER:

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NICHOLAEFF ARCHITECTURE + DESIGN
891 Main Street
Osterville, MA 02655
T 508 420 5288
F 508 420 2240
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ISSUE DATE	DESCRIPTION		
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PROJECT:
**ROBSHAM VILLAGE
462-466 EAST MAIN
STREET**
MILFORD, MASSACHUSETTS
01757
(WORCESTER COUNTY)

SCALE: 1" = 40' DATE: OCTOBER 20, 2017



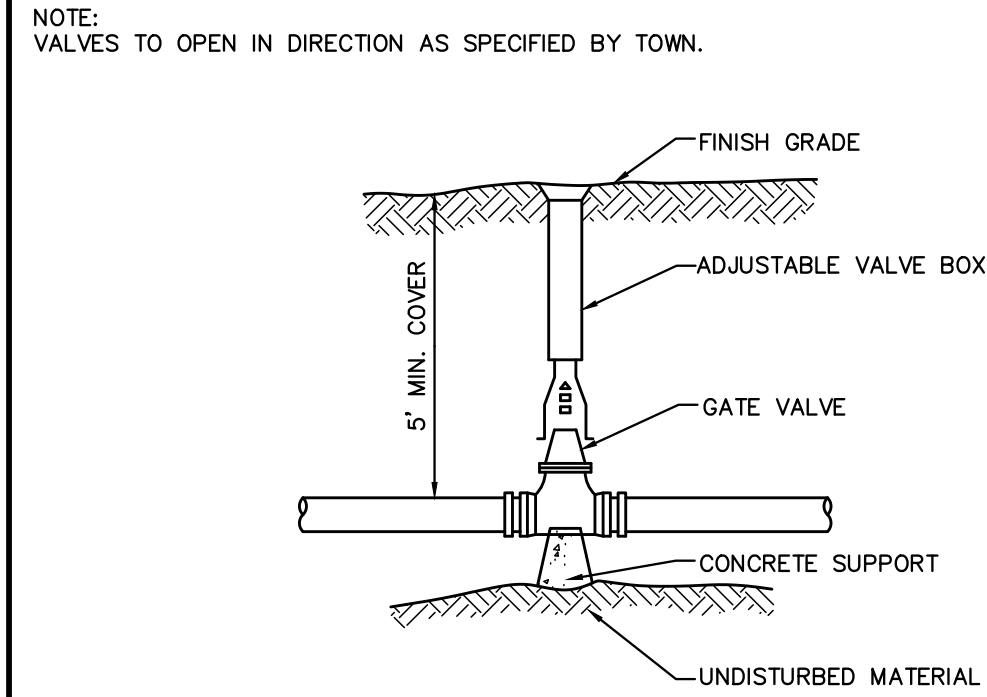
**LANDSCAPE AND
LIGHTING PLAN**

B+T JOB NO. 2706.01
B+T PLAN NO.
270601P022A-009
C6.2

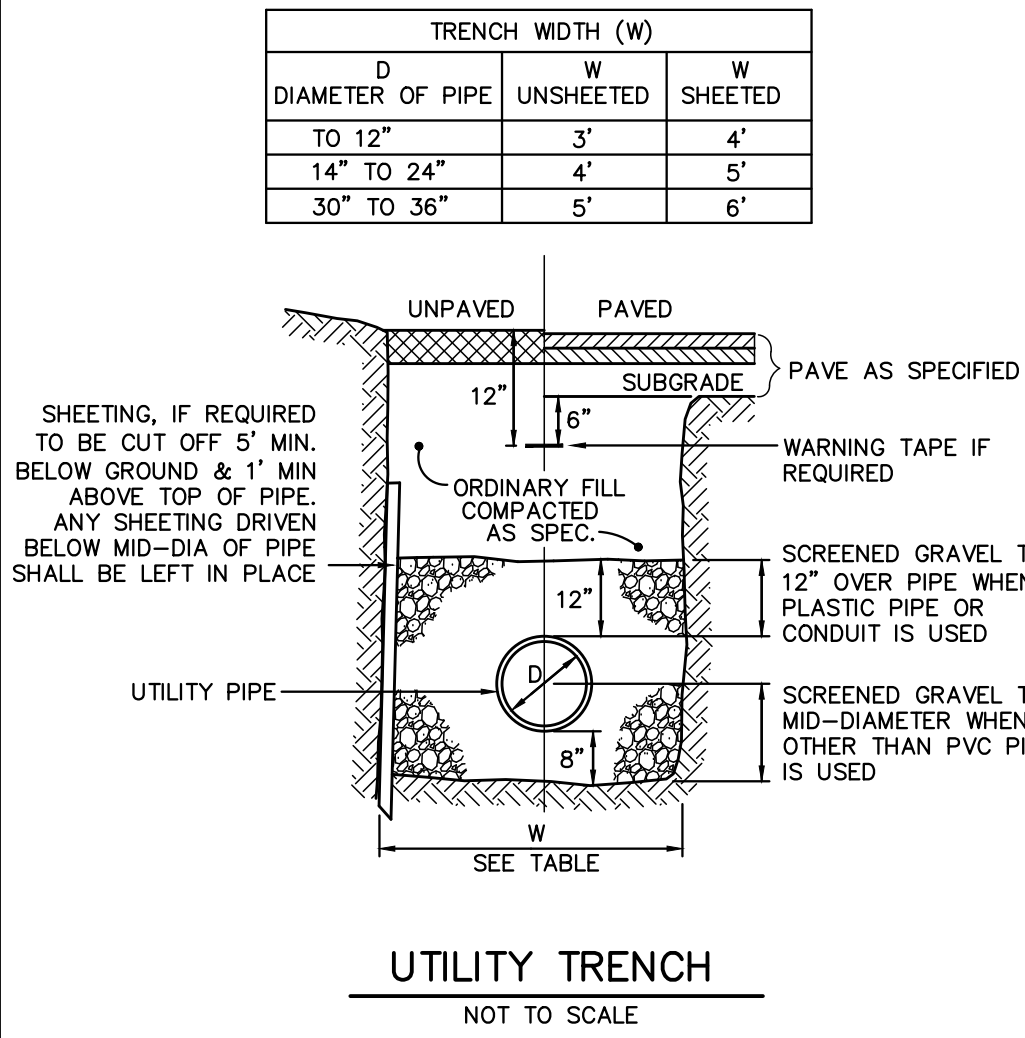
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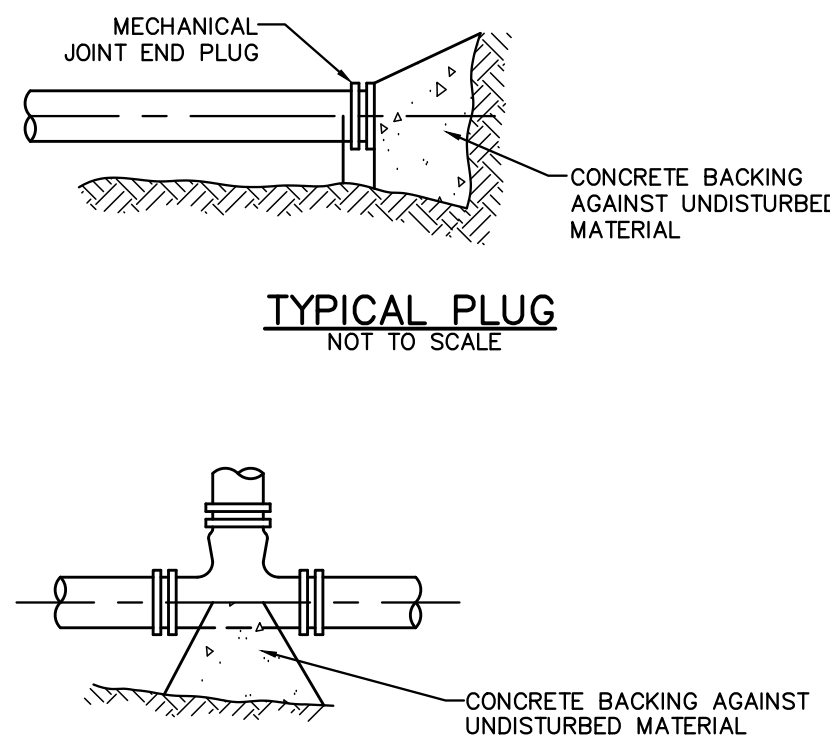
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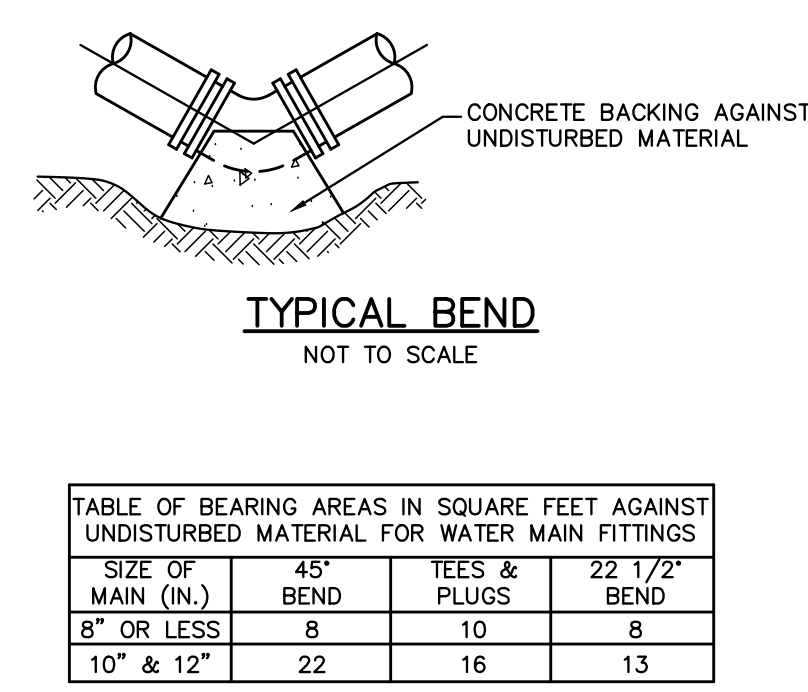
GATE VALVE
NOT TO SCALE



UTILITY TRENCH
NOT TO SCALE



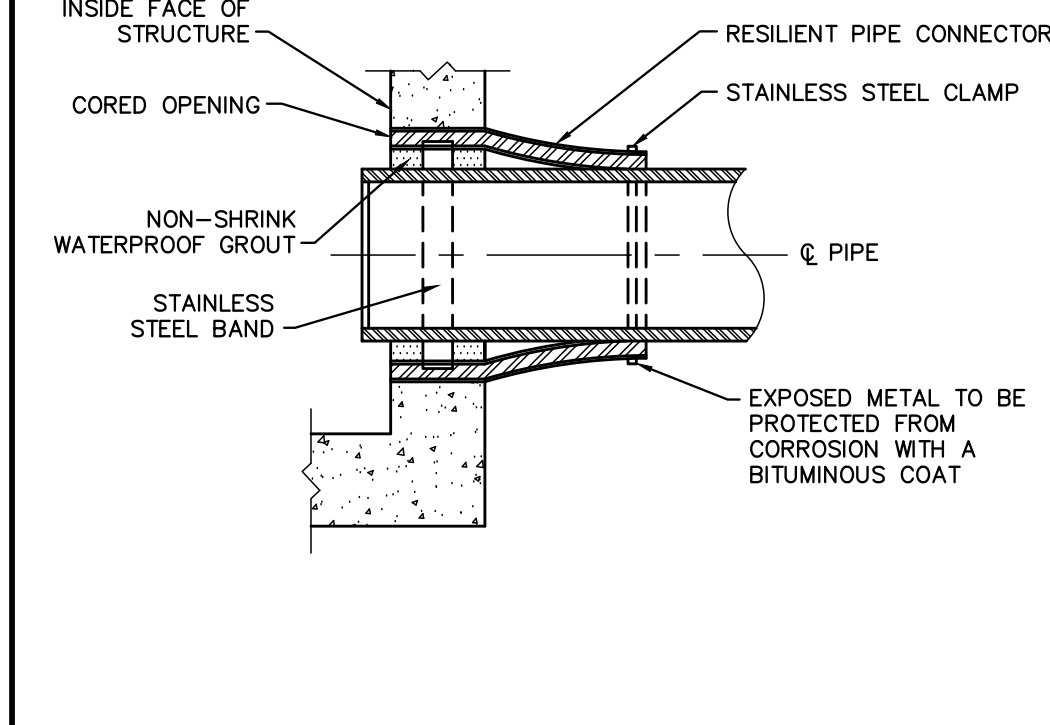
TYPICAL PLUG
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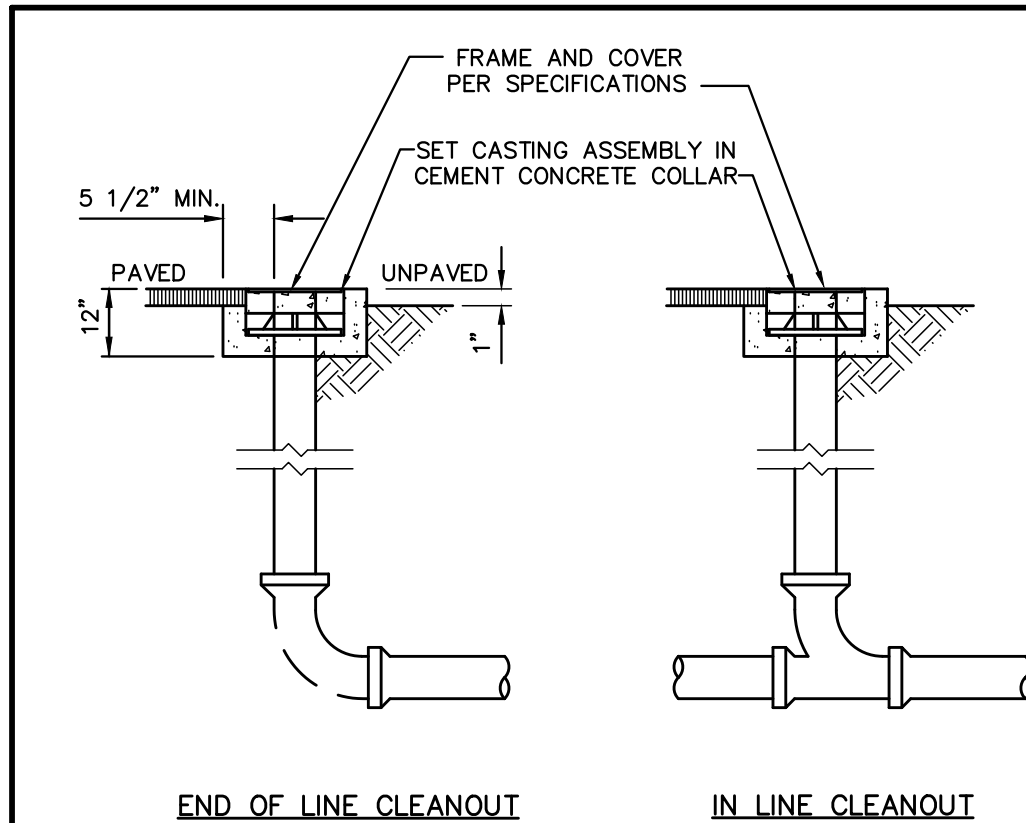
TYPICAL TEE
NOT TO SCALE

CONCRETE BACKING FOR WATER PIPE

SIZE OF MAIN (IN.)	BEND	PLUGS	BEND
4"	8	10	8
6" OR LESS	8	10	8
10" & 12"	22	16	13

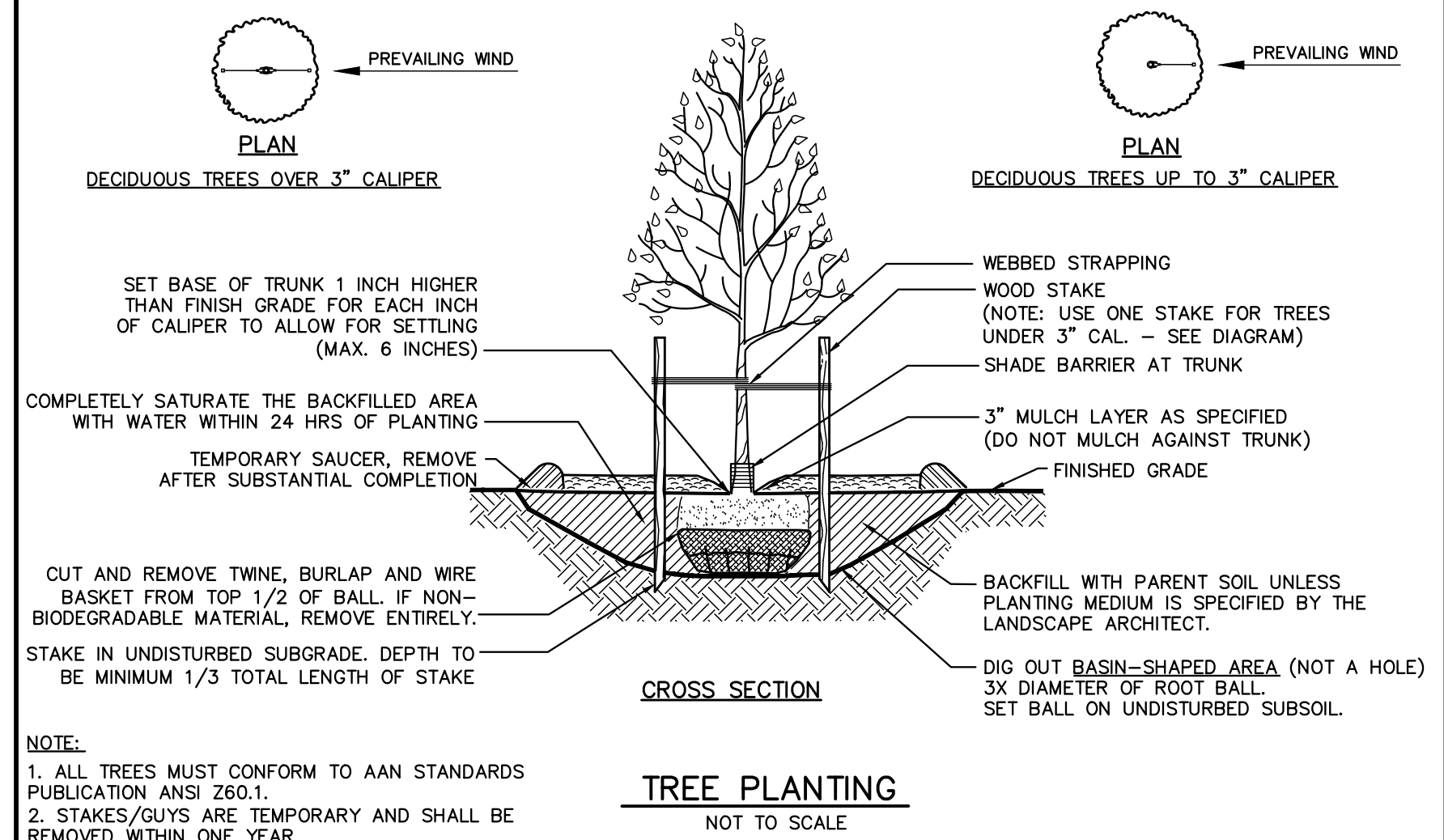


SEWER PIPE CONNECTION
NOT TO SCALE

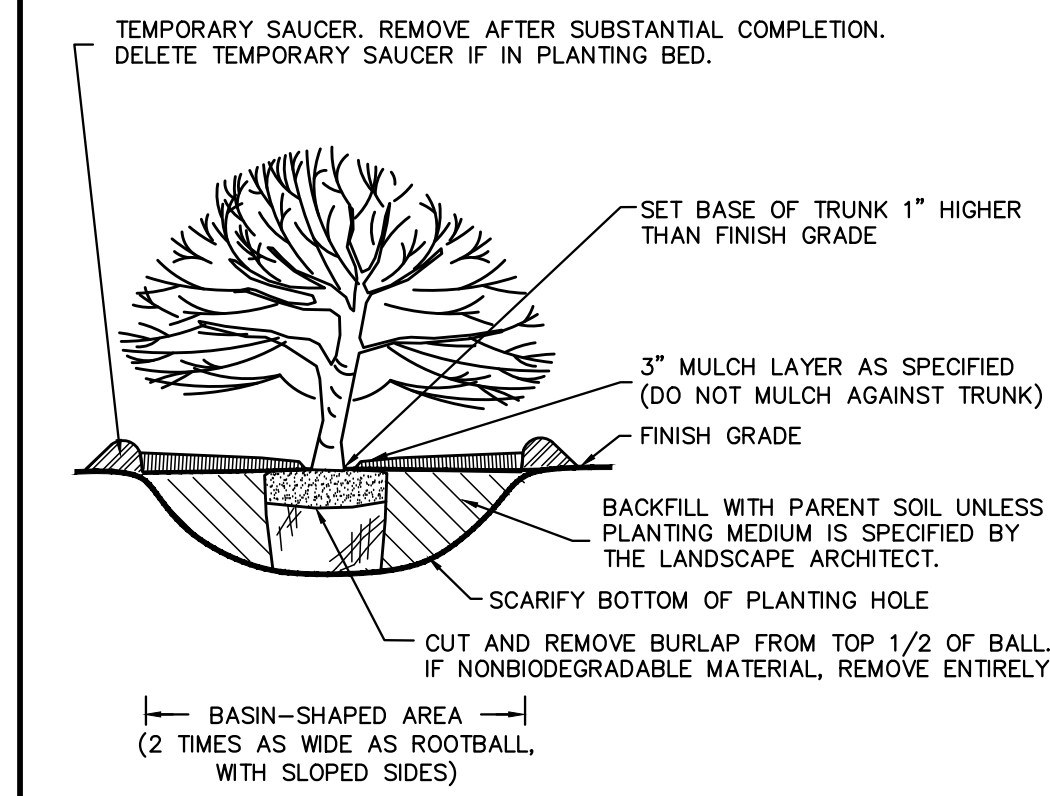


END OF LINE CLEANOUT

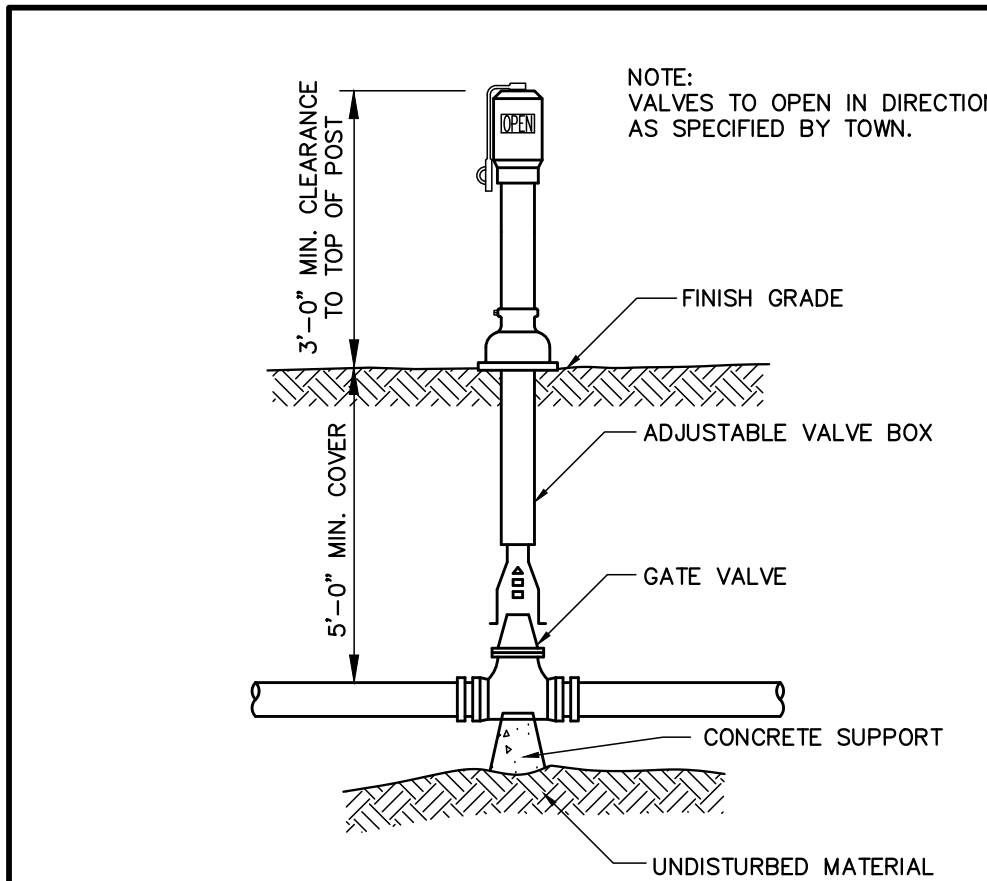
SEWER CLEANOUT
NOT TO SCALE



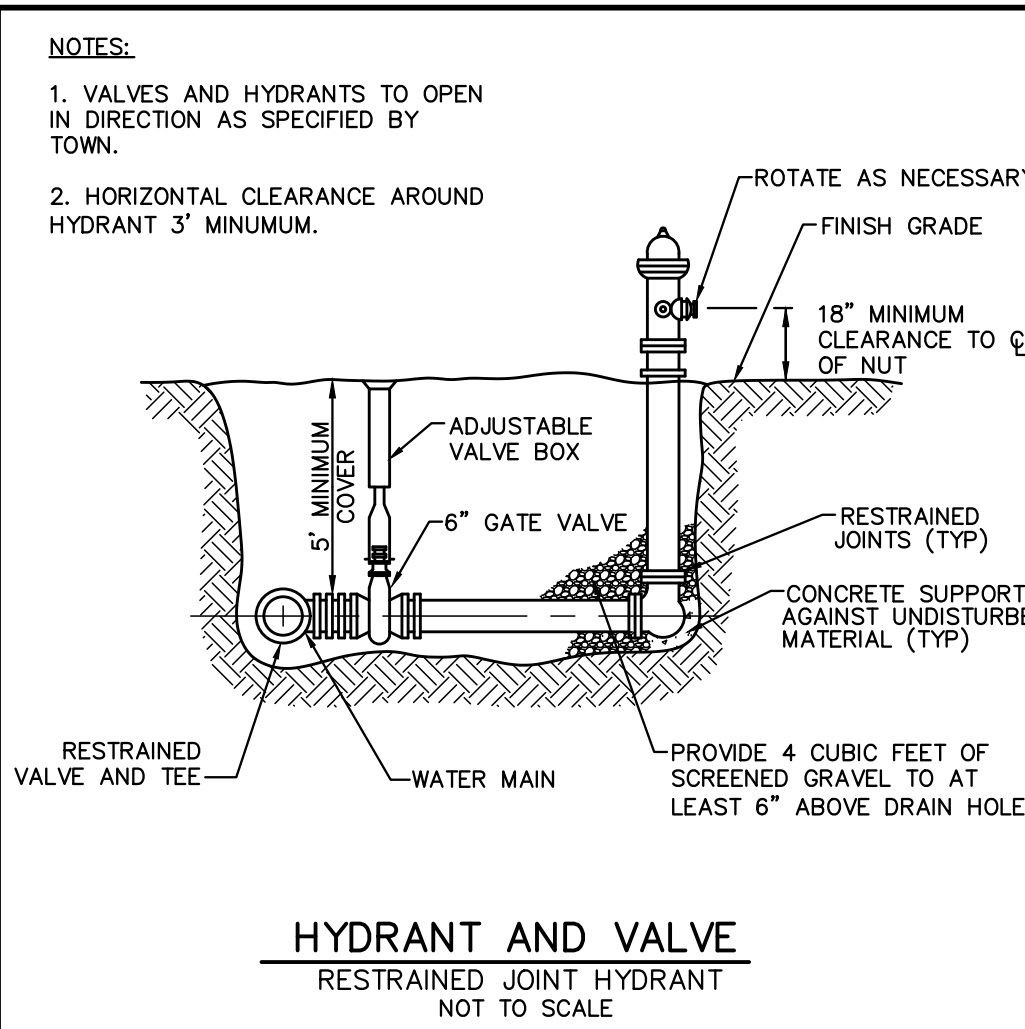
TREE PLANTING
NOT TO SCALE



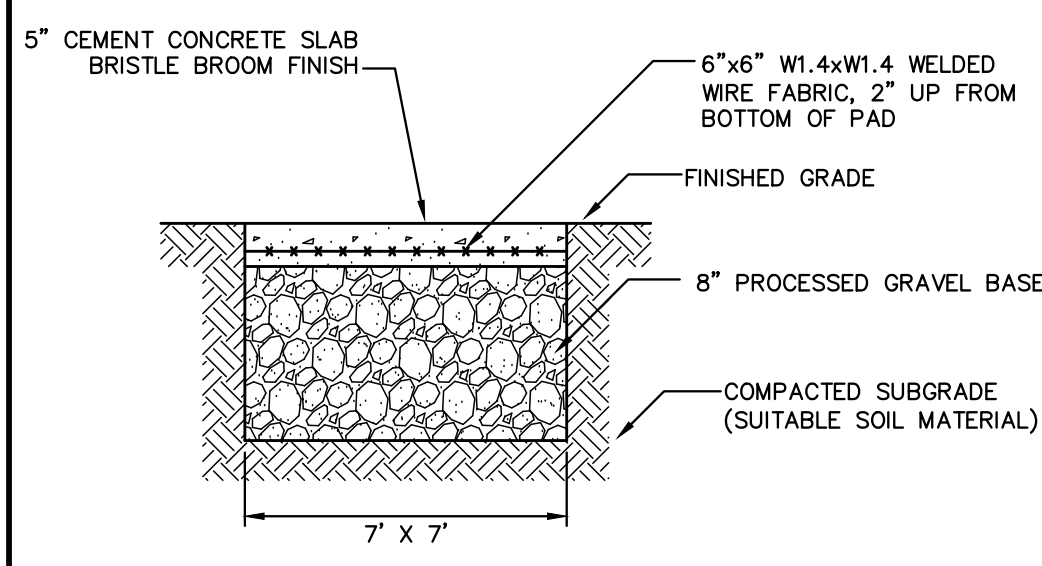
SHRUB PLANTING
NOT TO SCALE



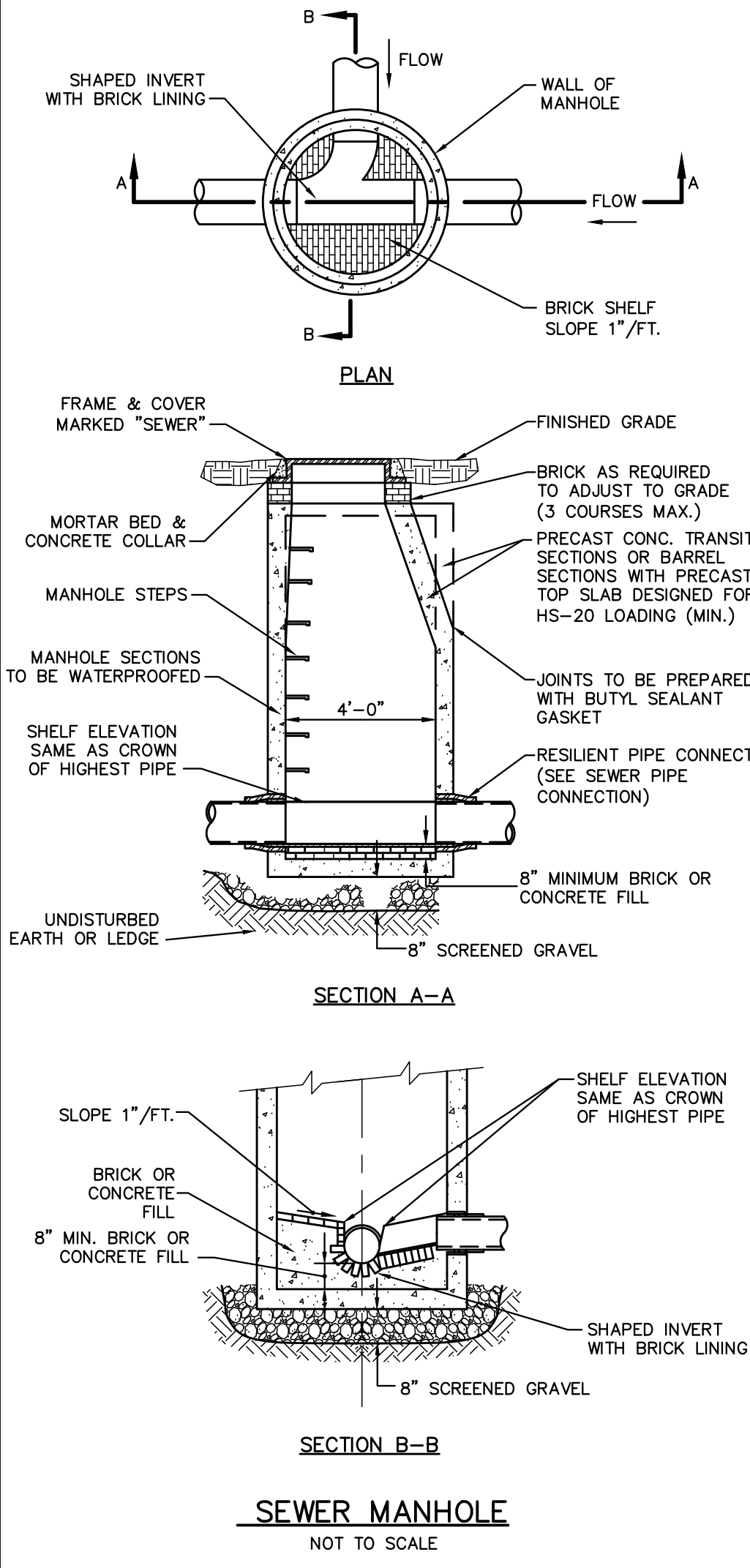
POST INDICATOR VALVE
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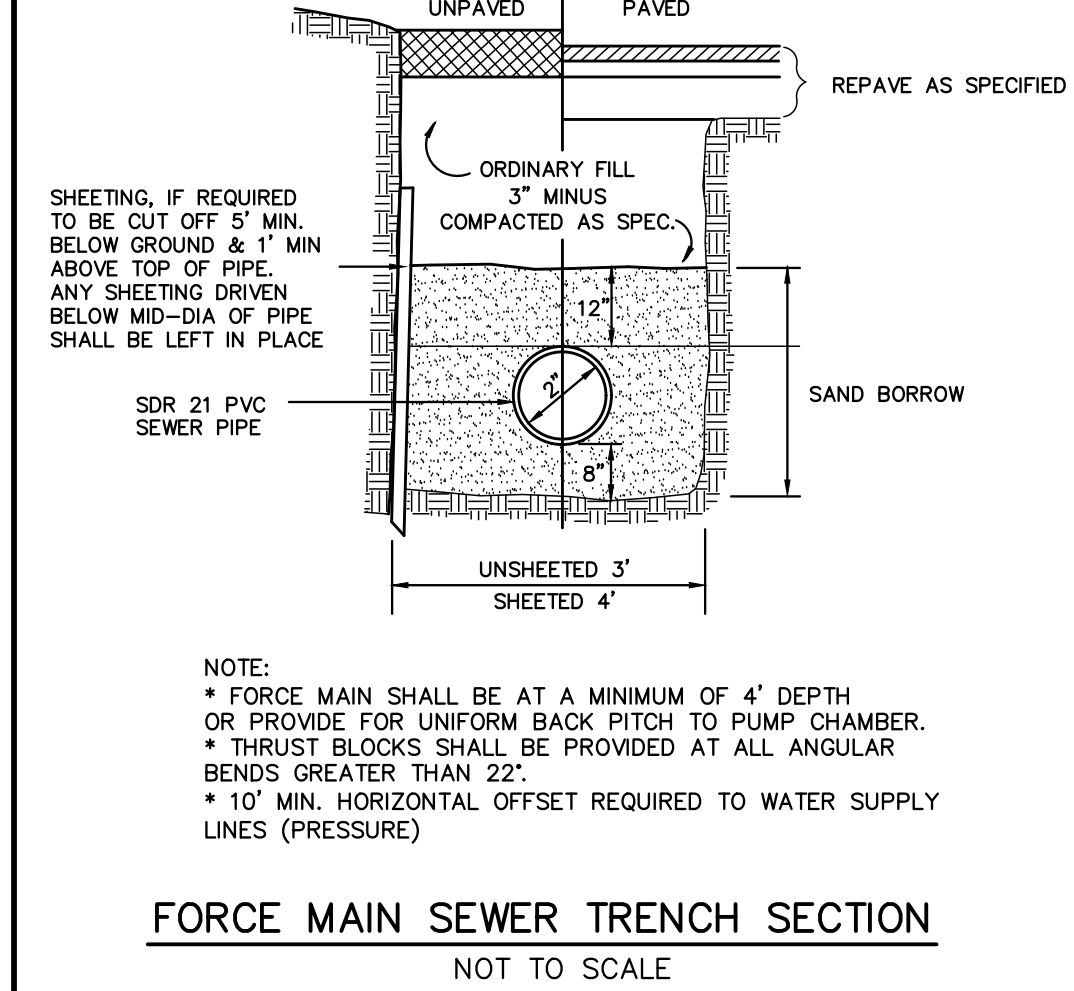
HYDRANT AND VALVE
RESTRAINED JOINT HYDRANT
NOT TO SCALE



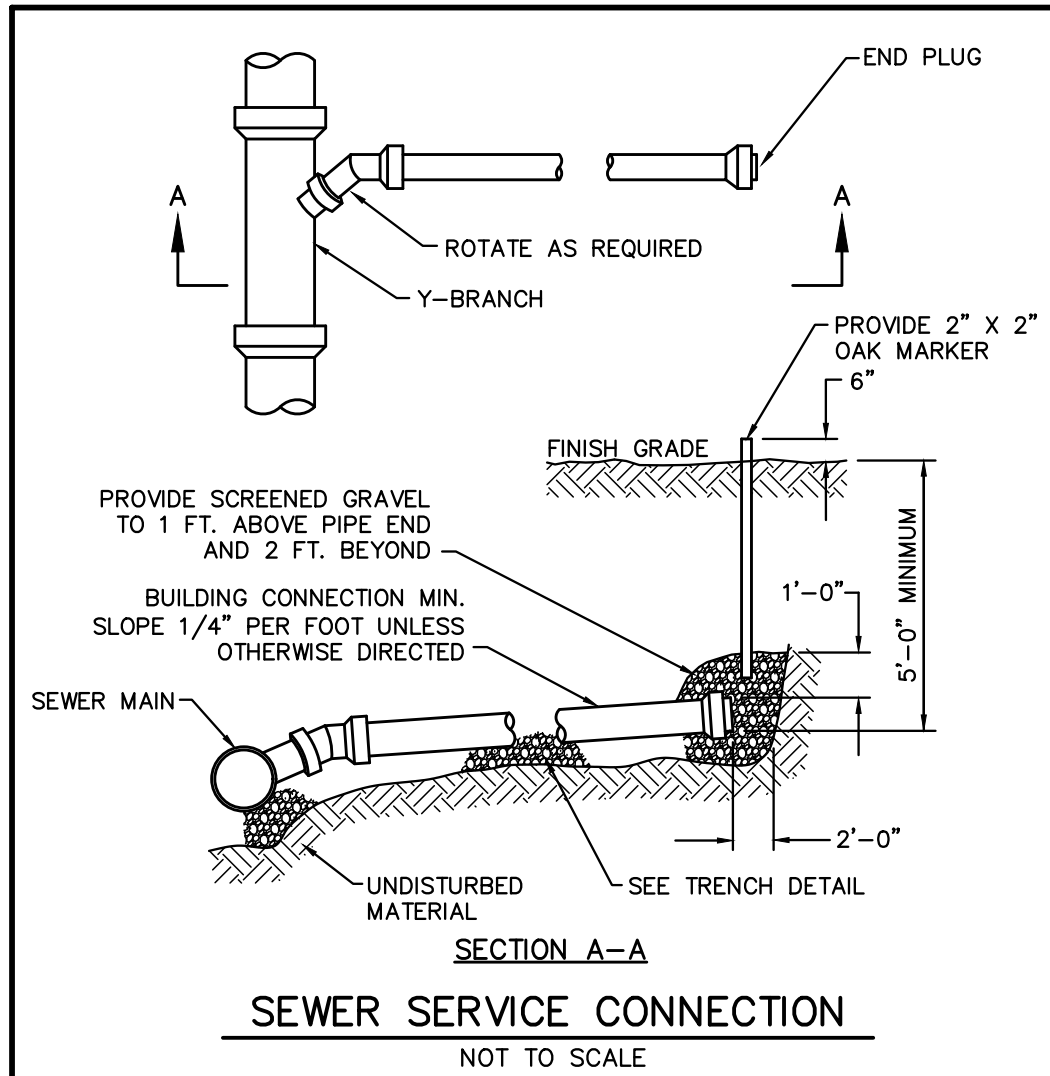
CEMENT CONCRETE TRANSFORMER PAD
NOT TO SCALE



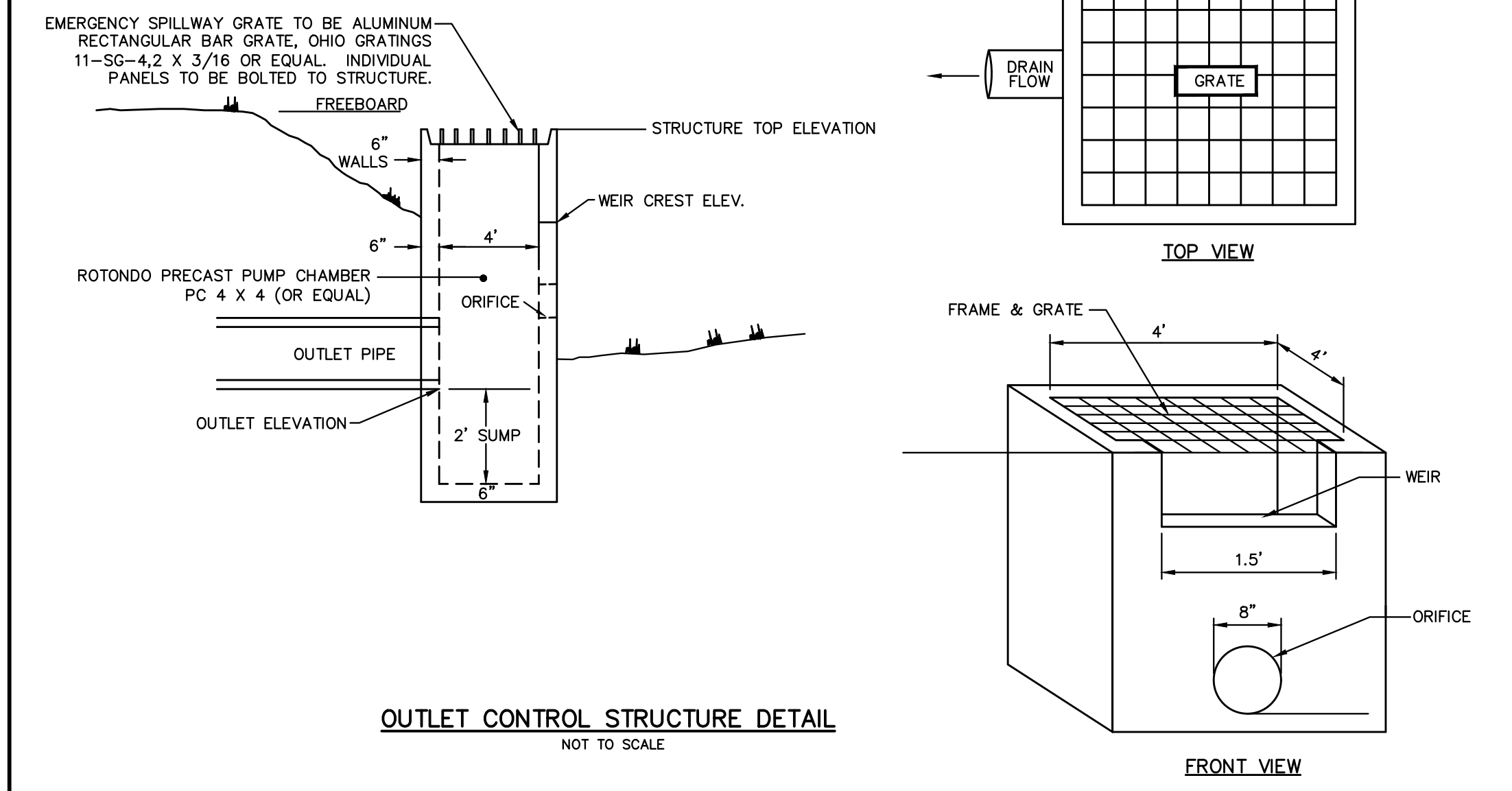
SEWER MANHOLE
NOT TO SCALE



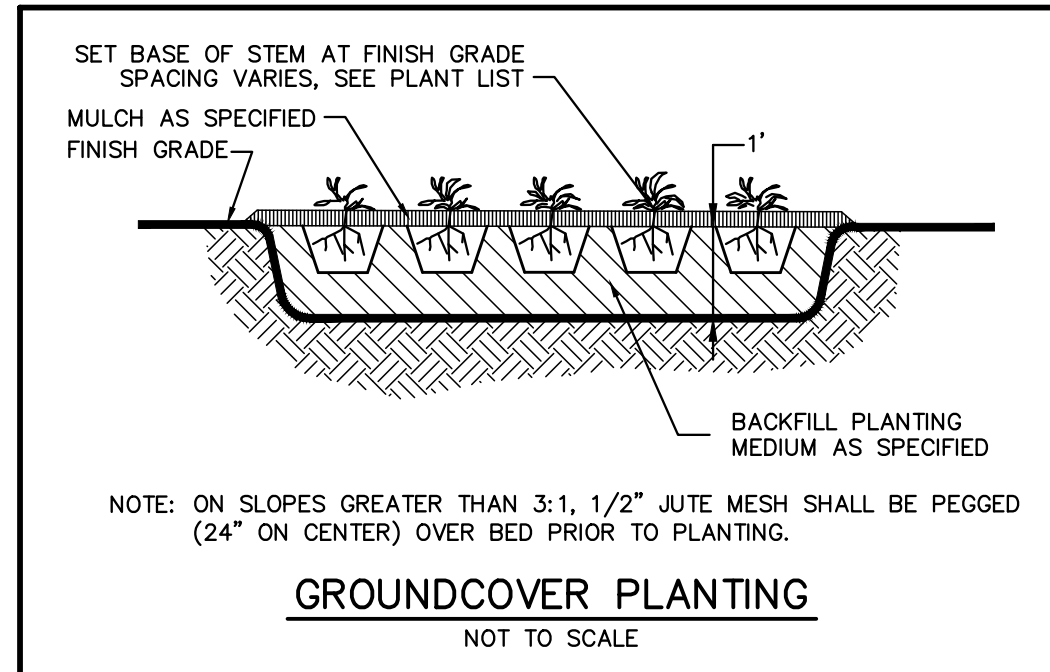
FORCE MAIN SEWER TRENCH SECTION
NOT TO SCALE



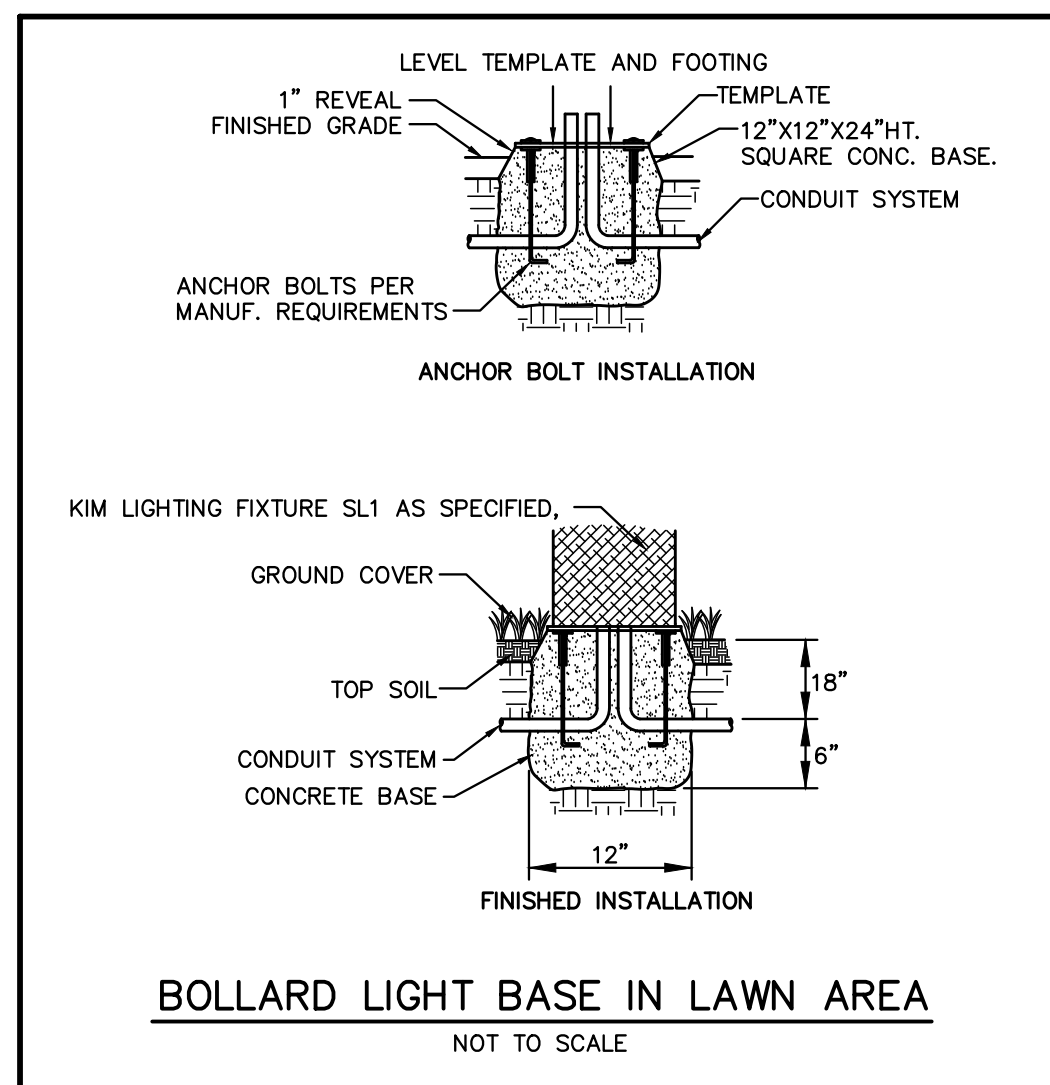
SEWER SERVICE CONNECTION
NOT TO SCALE



OUTLET CONTROL STRUCTURE DETAIL
NOT TO SCALE



GROUNDCOVER PLANTING
NOT TO SCALE



BOLLARD LIGHT BASE IN LAWN AREA
NOT TO SCALE

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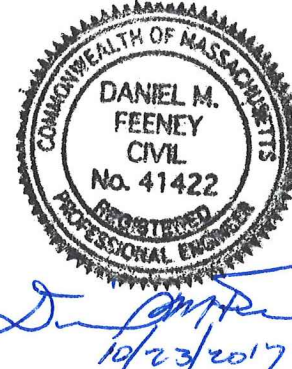
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RECORD OWNER:

EM STREET MILFORD, LLC
43719/205



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ARCHITECTURE + DESIGN

891 Main Street
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	ISSUE DATE	DESCRIPTION	
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PROJECT:

ROBSHAM VILLAGE
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(WORCESTER COUNTY)

SCALE: AS NOTED DATE: OCTOBER 23, 2017

SITE DETAILS

B+T JOB NO. 2706.01

B+T PLAN NO.
270601P021A-004

C7.2