

TOWN OF MILFORD
Milford, Massachusetts
NOTICE OF MEETING

RECEIVED
MILFORD TOWN CLERK

Board or Commission Milford Select Board
Date and Time of Meeting February 7, 2022, 7:00PM
Place of Meeting Room 03, 52 Main Street

2022 FEB -3 PM 1:56

- A.) SIGNING OF WARRANT, APPROVAL of Minutes, January 24, 2022
EXECUTIVE SESSION Minutes, January 31, 2022**
- B.) INVITATION TO SPEAK**
Remote Public Hearing/Invitation to Speak access now requires advanced registration. Please register online here: <http://tiny.cc/rq3ouz> Any member of the public may now register to access the zoom webinar as an attendee. Public attendees will be able to view the zoom LIVE and request to speak at the "Public Hearing/Invitation to Speak."
- C.) PUBLIC HEARINGS**
1. 7:00 PM Cannan Realty 2, LLC, re: Chapter 148 License
 2. 7:05 PM National Grid, re: Installation of underground facilities-Senate Rd
- D.) SCHEDULED APPOINTMENTS**
1. Extreme Nutrition, re: Common Victualler License
 2. Nutriforia, re: Common Victualler License
 3. Finance Director, Town Administrator, re: ARPA Payments
- E.) TOWN ADMINISTRATOR'S REPORT**
- F.) OLD BUSINESS**
1. Amazon, re: Update
- G.) NEW BUSINESS**
1. Milford Cultural Council, re: Resignation/Appointments
 2. Milford Youth Center, re: Acceptance of Gift in Memory of Ron Taylor
 3. Milford Conservation Commission, re: Proposed Warrant Articles
- H.) CORRESPONDENCE**
- I.) EXECUTIVE SESSION**
1. Town Counsel, re: Milford Firefighters Collective Bargaining Agreement
 2. Woodland School Building Committee-Litigation Update

The listing of matters above are those reasonably anticipated by the Chair which may be discussed at the meeting. Not all items listed may be discussed and other items not listed may also be brought up for discussion to the extent permitted by law.

Signature  Dated 2/3/22

Richard Villani

C-1
2-7-22

From: Jacquelyn Murphy
Sent: Wednesday, February 2, 2022 5:47 PM
To: Richard Villani
Cc: Paul Mazzuchelli
Subject: 204 E Main Street proposal

Thank you for the opportunity to review the proposed fuel station at 204 E Main Street.

Given that the information submitted by the applicant complies with current state and federal regulations, which are based on previous research of health effects from exposure to gasoline and the typical activities of a gas station, the Board of Health has no objection to granting the permit to store fuel at the site.

Many residential and industrial activities coexist in communities and neighborhoods. Federal and state regulations help balance the interests of protecting personal and public health while also allowing a reasonably widespread availability of resources which support daily activities for many community members.

The Board of Health was pleased to meet with the engineer who submitted the application and the residents who live near the site to discuss the state of the science, the proposed equipment and operating procedures, and the local regulatory processes (i.e., which committees and departments uphold certain mandates or regulations) by which establishments are permitted or prohibited.

Thank you again, and of course feel free to contact us with any further questions or additional information material to this proposal.

Richard Villani

From: Halim Choubah <hchoubah@gmail.com>
Sent: Monday, January 31, 2022 2:29 PM
To: Jacquelyn Murphy
Cc: alyssa.tham@gmail.com; corinne_digirolamo@comcast.net; yipmarvin@gmail.com; Richard Villani; Sameh Kanan
Subject: Re: Introduction / Scheduling a meeting next week
Attachments: Fuel Licence Plans 12-17-2021.pdf; spill prevention ans containment plan.pdf; Stormwater & Fuel Operation & Maintenance Plan.pdf

CAUTION: This email originated from outside the **Town of Milford**. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello all,

Hope you are well and safe. Please find attached to this email documents and information relating to the proposed gasoline filling station at 204 East Main Street that will address and answer questions and concerns raised at the January 24, 2022 Select Board meeting.

First, let me explain to you that our request from the Select Board is for a license to store fuel in underground storage tanks at the location. This is not a request for a permit to operate a gasoline filling station at the subject property. The gasoline filling station use is an allowed use by a Special Permit from the Zoning Board of Appeals which was already applied for and after a duly advertised public hearing was held and after notifying all of the abuters per zoning bylaws requirements, the Special Permit to operate a gasoline filling station was granted and approved by the Zoning Board of Appeals. The zba decision then was recorded at the registry of deeds after the legal appeal period was over.

The property is not located within any wellhead or groundwater protection districts or environmentally sensitive areas where the storage of underground fuel is prohibited. The proposed underground fuel tanks are allowed to be stored at the subject property subject to meeting the required fire protection and environmental protection required. The proposed underground fuel tanks will be double walled fiberglass tanks meeting all required fire and environmental local, state and federal regulations (refer to attached documents for additional information).

The plans and details of the underground fuel tanks were reviewed and approved by the Milford Fire Department meeting all required safety regulations.

The site plans were approved by the Planning Board after several public hearings were held.

The plans were also reviewed by the MASSDOT, in particular the proposed stormwater collection system and a permit by MASSDOT was granted.

We also filed a Notice of Intent with the Milford Conservation Commission and we were granted approval after a duly advertised public hearing was conducted and after notifying abutters.

The proposed plans and details were reviewed and approved by the Engineering Department during our site plan review.

I have attached a description of the proposed fueling system, operation and maintenance, and spill protection plan in order to help alleviate your concerns.

I hope this answers most of your questions and concerns and I am looking forward to meeting with you all tomorrow.

Sincerely,

Hal

Halim A. Choubah, P.E., President
Choubah Engineering Group, P.C.
Consulting Professional Engineers

112 State Road (Rte. 6)
N. Dartmouth MA 02747
Tel. (508) 858-5040
Fax (508) 858-5041

On Fri, Jan 28, 2022 at 9:56 AM Jacquelyn Murphy <jmurphy@townofmilford.com> wrote:

Hello, Ms. DiGirolamo, Ms. Tham, Mr. Yip, and Mr. Choubah,

Firstly, nice to “meet” you. I am the Director of Public Health in Milford at the Board of Health. I hear you have already met each other virtually during Monday’s Select Board meeting.

I am wondering if you all have time next week for a virtual meeting to discuss the proposal at 204 E Main Street. I have availability on Tuesday between 1:30pm-3pm or Wednesday between 11am-1pm.

If neither of those windows of time work on your end, feel free to reply to the group and propose alternative options.

Thank you, and I look forward to speaking with you all,

Jackie

Jacquelyn Murphy, DrPH, MPH

Pronouns: she/her/hers (Why pronouns are important.)

Director of Public Health

Board of Health

Town of Milford

52 Main Street (Room 6)

Milford, MA 01757

Office: 508.634.2315

Cell: 774.737.6027



 Please consider the environment before printing this e-mail.

PUBLIC RECORDS NOTICE: Please be advised that the Massachusetts Secretary of State considers email to be a public record, and therefore subject to the Massachusetts Public Records Law, M.G.L. c. 66 § 10.

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FP-002A
(Rev. 1.2018)

The Commonwealth of Massachusetts

City/Town of MILFORD

Application For License

Massachusetts General Law, Chapter 148 §13

New License Amended License

GIS Coordinates
42.151630
LAT.
-71.497063
LONG.

License Number

Application is hereby made in accordance with the provisions of Chapter 148 of the General Laws of Massachusetts for a license to store flammables, combustibles or explosives on land in buildings or structures herein described.

Location of Land: 204 EAST MAIN STREET, MILFORD, MA 01757

Number, Street and Assessor's Map and Parcel ID

Attach a plot plan of the property indicating the location of property lines and all buildings or structures.

Owner of Land: CANAAN REALTY 2, LLC.

Address of Land Owner: 53 COURT STREET. TAUNTON, MA 02780

Use and Occupancy of Buildings and Structures: Gasoline Filling Station With Convenience Store
(Occupancy Classification : Mercantile)

If this is an application for amendment of an existing licence, indicate date of original licence and any subsequent amendments

Attach a copy of the current license

Flammable and Combustible Liquids, Flammable Gases and Solids

Complete this section for the storage of flammable and combustible liquids, solids, and gases; see 527 CMR 1.00 Table 1.12.8.50; Attach additional pages if needed. All tanks and containers are considered full for the purposes of licensing and permitting.

PRODUCT NAME	CLASS	MAXIMUM QUANTITY	UNITS gal., lbs, cubic feet	CONTAINER UST, AST, IBC, drums
Gasoline (Regular)	I	10,000	Gallons	UST
Gasoline (Regular)	I	10,000	Gallons	UST
Gasoline (Super)	I	5,000	Gallons	UST
Diesel Fuel	II	5,000	Gallons	UST

Total quantity of all flammable liquids to be stored: 25,000 Gallons

Total quantity of all combustible liquids to be stored: 5,000 Gallons

Total quantity of all flammable gases to be stored: -

Total quantity of all flammable solids to be stored: -

LP-gas (Complete this section for the storage of LP-gas or propane)

Indicate the maximum quantity of LP-gas to be stored and the sizes and capacities of all storage containers. (See 527 CMR 1.00 Table 1.12.8.50)

❖ Maximum quantity (in gallons) of LP-gas to be stored in aboveground containers: 75 Gallons

List sizes and capacities of all aboveground containers used for storage: 21 containers (each container contains 3.53 gallons)

❖ Maximum quantity (in gallons) of LP-gas to be stored in underground containers: _____

List sizes and capacities of all underground containers used for storage: _____

Total aggregate quantity of all LP-gas to be stored: _____

Fireworks (Complete this section for the storage of fireworks)

Indicate classes of fireworks to be stored and maximum quantity of each class. (See 527 CMR 1.00 Table 1.12.8.50)

❖ Maximum amount (in pounds) of Class 1.3G: _____ Type/class of magazine used for storage: _____

❖ Maximum amount (in pounds) of Class 1.4G: _____ Type/class of magazine used for storage: _____

❖ Maximum amount (in pounds) of Class 1.4: _____ Type/class of magazine used for storage: _____

Total aggregate quantity of all classes of fireworks to be stored: _____

Explosives (Complete this section for the storage of explosives)

Indicate classes of explosive to be stored and maximum quantity of each class. (See 527 CMR 1.00 Table 1.12.8.50)

❖ Maximum amount (in pounds) of Class 1.1: _____ Number of magazines used for storage: _____

❖ Maximum amount (in pounds) of Class 1.2: _____ Number of magazines used for storage: _____

❖ Maximum amount (in pounds) of Class 1.3: _____ Number of magazines used for storage: _____

❖ Maximum amount (in pounds) of Class 1.4: _____ Number of magazines used for storage: _____

❖ Maximum amount (in pounds) of Class 1.5: _____ Number of magazines used for storage: _____

❖ Maximum amount (in pounds) of Class 1.6: _____ Number of magazines used for storage: _____

I, Sameh Kanaan, hereby attest that I am authorized to make this application. I acknowledge that the information contained herein is accurate and complete to the best of my knowledge and belief. I acknowledge that all materials stored pursuant to any license granted hereunder must be stored or kept in accordance with all applicable laws, codes, rules and regulations, including but not limited to Massachusetts Chapter 148, and the Massachusetts Fire Code (527 CMR 1.00). I further acknowledge that the storage of any material specified in any license granted hereunder may not exceed the maximum quantity specified by the license.

Signature [Signature] Date 12-17-2021 Name Canaan Realty 2, LLC

Fire Department Use Only

I, Mark Nelson, Head of the Milford Fire Department endorse this application with my

Approval Disapproval

Signature of Head of the Fire Department [Signature] Date 12/27/2021

Recommendations: _____



MILFORD FIRE DEPARTMENT

21 BIRCH STREET
MILFORD, MASSACHUSETTS 01757

MARK A. NELSON, CHIEF
MICHAEL J. DETORE, DEPUTY

Telephone: 508-473-1214 • Fax: 508-473-4858 • Inspections: 508-473-2256

January 4, 2022

Richard Villani, Esq.
Town Administrator
52 Main Street
Milford, Massachusetts 01757

RE: Fuel Storage License Application for 204 East Main Street

Dear Mr. Villani:

The Fire Department recommends approval of the proposed quantities of flammable and combustible fuel. The fuel will be stored in underground tanks located at this new gas station and convenience store business. In addition, storage of propane cylinders included in the application for the on-site exchange service is recommended for approval.

Please contact me if I can assist with any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Mark Nelson", written in a cursive style.

Mark Nelson



Choubah Engineering Group, P.C.
CEG
 Consulting Professional Engineers

112 STATE ROAD (ROUTE 6)
 NO. DARTMOUTH MA 02747
 TEL: (508) 838-6940 FAX: (508) 838-5044
 www.choubahgroup.com

Project:
 PROPOSED GASOLINE
 FILLING STATION WITH
 CONVENIENCE STORE AT
 204 EAST MAIN STREET
 MAP: 32 LOT: 0 PARCEL: 14A
 MILFORD, MA 01757

Prepared For:
 KANAAN REALTY GROUP, INC
 53 COURT STREET
 TAUNTON, MA 02780

APPROVED BY THE MILFORD
 PLANNING BOARD

DATE APPROVAL ISSUED:
 PLAN ENDORSEMENT DATE:



Issue Date: 08/11/2021		Revisions	
No.	Date	Description	

Project Number: 21-090
 Scale: AS SHOWN
 Designed By: CMS
 Drawn By: CMS Checked By: HC
 Sheet Title:

ARCHITECTURAL RENDERINGS

**Spill Prevention and Containment Plan for
Proposed Gasoline Filling Station
and Convenience Store
204 East Main Street
Milford, MA**

Description of the Fueling Facility

We propose to build a self-service gas station with a 3,000 square foot convenience store. The gas station will comprise four fuel dispensers and will sell gasoline and diesel fuel under an overhead canopy equipped with a state of the art fire suppression system.

There will be two underground storage tanks (USTs) buried in the ground: one 15,000 gallon tank with a baffle dividing the tank into two compartments one 10,000 gallons for regular unleaded gasoline and one 5,000 gallons for super unleaded, and one 15,000 gallon tank with a baffle dividing the tank into two compartments one 10,000 gallons for regular unleaded gasoline and one 5,000 gallons for on-road diesel fuel. The USTs will be double wall fiberglass, manufactured to the Underwriters Laboratory (UL) 1316 standard. There is an interstitial space between the two walls of the tanks that will be monitored 24/7 by an automatic tank gauging system.

The fuel will be transferred to the fuel dispensers via double wall fiberglass piping constructed to the UL 971 standard. The piping also has an interstitial space that will be monitored 24/7 by an automatic tank gauging system.

A fuel supplier will deliver the gasoline and diesel in the same truck, which will usually be a 12,000 gallon fuel tanker with a double wall hull. The fuel tanker usually has four to five compartments and each compartment can hold 2,000 gallons to 3,000 gallons. There are 5 gallon overspill buckets around each filling point of the underground fuel storage tanks. The underground fuel storage tanks are vented in compliance with State and Federal environmental regulations.

The fuel transporter has its own safety protocols in place, and drivers are trained in the response actions required after a spill.

The fuel dispensers are equipped with shear valves at their base to protect against spillage if there is a collision with the dispenser. The fuel hoses are also equipped with a breakaway piece in the case that a car drives off with a nozzle still in it. The fuel nozzles also have an automatic shutoff switch that trips when the vehicle is full of fuel or when the nozzle is inadvertently pulled out of the vehicle. In the unlikely case of a fuel spill from a dispenser, the concrete mat around the dispensers are built to contain five gallons of fuel per dispenser via the grooves in the pavement, called positive limiting barriers (PLBs). The PLBs are built so the fuel nozzle may not extend past them, so there would be no chance to spill fuel from the dispenser outside of the PLBs.

All employees are certified in the Massachusetts DEP UST Operator Certification Program (<https://www.mass.gov/guides/massdep-ust-operator-certification-program>). This program requires knowledge of emergency procedures as well as routine monitoring of the equipment and fuel inventory. The site will also be visited once monthly by a technician certified as an A/B Operator under the DEP program, and that person will inspect the property and ensure that the employees are performing their duties under the program.

In the very unlikely case of a spill, the employees are trained to do the following:

- Protect themselves and the public.
- Stay upwind of the spill if possible.
- Isolate the leak or spill if possible.
- Prevent entry into drains, sewers and other water runoff sources using spill pads and booms.
- Close the emergency shut off valves at drainage system in the rear parking lot.
- Control ignition sources if safe to do so, then notify the fire department.
- Refer to the "2020 Emergency Response Guidebook" for guidance on the initial response. Guide number 128 for gasoline and diesel fuel.
- Wait for instructions from emergency personnel. They will advise you of existing and potential hazards as well as the requirements for proper clean up and disposal.

In addition to employee spill containment measures, the following physical safeguards are in place on the property:

The fueling pad is graded to drain towards catch basins and drainage manholes with four feet deep sumps in the parking lot. The catch basins are connected to an oil/water separator structure. The oil/water separator is connected to the infiltration system with a 12" emergency shut off valve to prevent the transfer of fuel to groundwater, adjacent properties, or adjacent streets.

In case of a catastrophic event the shut off valve will be closed and the fuel will be trapped in the drainage structures and piping system on site. The capacity of the proposed catch basins structures with the 4-foot deep sumps and the 12" conveyance piping can hold approximately 2,750 gallons of fuel equivalent to the largest fuel compartment on the fuel tanker.

STORMWATER & FUEL
OPERATION & MAINTENANCE PLAN
FOR
PROPOSED GASOLINE FILLING STATION
WITH
CONVENIENCE STORE
AT
204 EAST MAIN STREET (ROUTE 16)
MILFORD, MA 01757

PREPARED FOR:

KANAAN REALTY GROUP, INC
53 COURT STREET
TAUNTON, MA 02780
(617) 407-9977



PREPARED BY:



CHOUBAH ENGINEERING GROUP, P.C.
CONSULTING PROFESSIONAL ENGINEERS
112 STATE ROAD (RTE.6)
N. DARMOUTH, MA 02747
CEG # 21-590

January 28, 2022

**Fuel and Stormwater Management, Operation
&
Maintenance Plan
For
204 East Main Street
Milford, MA**

Introduction

The following Operations and maintenance plan has been prepared for the proposed gasoline filling station, at 204 East Main Street, in Milford Massachusetts. The purpose of this plan is to provide guidance and procedures for proper stormwater and fuel management for the project during and post construction. During construction, an erosion barrier consisting of staked silt sock with a siltation fence will be placed along the proposed limits of construction as shown on the site plan prior to construction. Gravel tracking pads will be placed at the entrance driveways in compliance with the Town of Milford erosion control ordinance. The contractor will be responsible for maintaining the erosion barriers and pads during the entire construction period. Erosion control devices will be removed after construction is completed and all disturbed areas are restored and accepted.

Routine Site Maintenance

Parking lot maintenance in the form of sweeping with high efficiency vacuum sweeper shall be conducted on a monthly average with sweeping scheduled primarily in spring and fall. Sweeping provides important non-point source pollution control. When practical and as weather permits, accumulated sediments should be swept and removed on an as needed basis during the month of January through March.

Preventive Measures

Spill Prevention and Response Plan

The tenant/operator of the facility shall train all maintenance personnel and truck drivers in the proper handling and cleanup of spilled Hazardous Substances or Oil. No spilled Hazardous Substances or Oil shall be allowed to come in contact with stormwater discharges. In case of any spill the emergency shut-off valve at the stormwater discharge pipe located in the parking lot should be closed to prevent any spill of hazardous materials to reach the on-site infiltration system. All personnel should be trained to easily locate and shut off the 12" emergency shut-off valve. If such contact occurs, the stormwater discharge shall be contained on site until appropriate measures in compliance with state and federal regulations are taken to dispose such contaminated stormwater. It shall be the responsibilities of the tenant/operator to train all personnel in spill prevention and cleanup procedures.

In order to prevent or minimize the potential for a spill of Hazardous Substances or Oil to come into contact with stormwater, the following steps shall be implemented:

12" emergency shut-off valve should be turned off to closed position.

A spill control and containment kit (containing for example, absorbent materials, acid neutralizing powder, brooms, dust pans, mops, rags, gloves, goggles and eye wear protection, plastic, and metal trash containers, etc.) shall be readily available. Any spill of fuel on site shall be reported by the Operator of the facility to the Massachusetts Department of Environmental protection MASSDEP and local fire department in compliance with all applicable local and state fire and environmental regulations.

Manufacture's recommended for spill cleanup shall be known and maintenance personnel shall be trained regarding these procedures and the location of the information and cleanup supplies.

It is the responsibility of the tenant/operator to insure that all hazardous waste discovered or generated at the site are disposed by a licensed hazardous materials disposal company.

In the event of a spill of hazardous substances the responsible parties shall take all necessary measures to contain and abate the spill and to prevent the discharge of the hazardous substance or oil to stormwater system or off-site.

Any spill that occurs shall be documented on a spill report form that is enclosed in this document.

There should be no washing of vehicles on site.

There should be no storage or disposal of toxic materials on site.

There should be no discharges of non-stormwater to the stormwater system.

Snow Storage: Snow is being stored on site within paved surfaces to prevent the transfer of oil and petroleum base products to the ground via infiltration. With the proposed site grading snow melt from snow storage area is collected by catch basins and drainage manholes with deep sumps and then directed to a proprietary stormwater BMP structure for pre-treatment of runoff prior to discharge to on-site infiltration system. The stormwater system is designed to achieve TSS (Total Suspended Solids) removal rates in compliance with the Massachusetts Department of Environmental Protection Guidelines.

Stormwater: runoff collected from fueling pad and paved surfaces on site will be conveyed to catch basins and drainage manholes with deep sumps and directed to a BMP structure equipped with an oil/water separator for pre-treatment.

Fueling Area: fueling pads are designed to control spills and to treat collected stormwater and/or wastewater to required levels. The concrete containment pad around the fueling island is sloped toward catch basins and drainage manholes with deep sumps and is directed to a BMP structure with an oil/water separator. The fueling pad will be constructed using impervious concrete materials to prevent the transfer of oil or petroleum base products to the ground via infiltration. The transfer of fuel from the delivery tank trucks to the fuel storage tank will be conducted in impervious contained and ensured areas so that appropriate overflow protection is used.

BMPs for Auto Fueling Facilities (Gas stations)

Description of Pollutant Sources: A fueling station is a facility dedicated to the transfer of fuels from a stationary pumping station to mobile vehicles or equipment. It includes above- or underground fuel storage facilities. In addition to general service gas stations, fueling may also occur at 24-hour convenience stores, construction sites, warehouses, car washes, manufacturing establishments, port facilities, and businesses with fleet vehicles. Typically, stormwater contamination at fueling stations is caused by leaks/spills of fuels, lube oils, radiator coolants, and vehicle washwater.

Pollutant Control Approach: Construct new fueling stations on an impervious concrete pad under a roof to keep out rainfall and stormwater run-on. Use a treatment BMP such as an oil grit separator, sand filter or equivalent for contaminated stormwater and wastewaters in the fueling containment area.

Applicable Operational BMPs:

- Prepare an emergency spill response and cleanup plan and have designated trained person(s) available either on-site or on call at all times to promptly and properly implement that plan and immediately cleanup all spills. Keep suitable cleanup materials, such as dry adsorbent materials, on-site to allow prompt cleanup of a spill.
- Train employees on the proper use of fuel dispensers. Post “No Topping Off” signs (topping off gas tanks causes spillage and vents gas fumes to the air). Make sure that the automatic shutoff on the fuel nozzle is functioning properly.
- The person conducting the fuel transfer must be present at the fueling pump during fuel transfer, particularly at unattended or self-serve stations.
- Keep drained oil filters in a suitable container or drum. Drums should be closed on an impervious pad with adequate containment.
- For more information about when you need to report a spill to MassDEP and how quickly you need to report it (in many instances a spill must be reported within 2 hours), go to this MassDEP web page: <http://mass.gov/dep/cleanup/dealin01.htm>

Maintenance of Fences and landscape

As part of the parking lot maintenance the owner of the facility shall conduct at least a yearly inspection at the end of each winter and plowing season to insure all existing fences and landscape are in good working conditions. The owner shall replace broken fences and dead trees or shrubs as needed to maintain a functional buffer from the adjacent properties.

Maintenance of Stormwater management Devices

Trench Drain, Catch Basins/Drainage Manholes

All Structures will be inspected four times per year. Structures will be cleaned four times a year or whenever the depth of deposits is greater than or equal to one half the depth from the bottom of the invert of the lowest pipe in the basin and at the end of the foliage and snow removal seasons. All Structures will be cleaned using a vacuum truck to remove trapped sediment and

water/oil from the deep sumps. Material or fluid removed during cleanings will be disposed in accordance with all federal, state, and local regulations.

Oil/Water Separator

Oil/Water separator shall be inspected monthly and after major storm events. Structures will be cleaned twice a year by removing oil, grease, and sediments. Material or fluid removed during cleanings shall be disposed in accordance with all federal, state, and local regulations.

VORTSENTRY Maintenance

A proprietary separator, ("VORTSENTRY") will be inspected in accordance with the manufacturer requirements, but no less than twice a year following installation, and no less than once a year thereafter.

- Units should be inspected post construction, prior to being put into service.
- Inspect every six months for the first year to determine the oil and sediment accumulation rate.
- In subsequent years, inspections can be based on first-year observations or local requirements.
- Cleaning is required once the sediment depth reaches 15% of storage capacity, (generally taking one year or longer). Local regulations for maintenance frequency may vary.
- Inspect the unit immediately after an oil, fuel, or chemical spill.
- A licensed waste management company should remove oil and sediment and dispose responsibly.

Sediment and other trapped pollutants will be removed and the structures will be cleaned at the frequency specified by the manufacturer. Cleaning of the units will be conducted using the method specified by the manufacturer.

Underground Infiltration Systems Maintenance

Infiltration systems will be aggressively maintained on a regular schedule. Units will be inspected every six months. For the first year of installation infiltration units shall be checked and inspected after every major storm event (2 year return frequency). Inlet pipes will be checked monthly to determine if they are clogged and accumulated sediment, trash, debris, leaves, and vegetation will be removed. If infiltration system fails to fully dewater within 72 hours of a storm event, then the responsible party (facility Owner/Operator) shall retain a qualified professional engineer to assess the cause of failure of the system and develop recommendations for corrective action. Corrective action must be implemented immediately to restore system function.

On Site Maintenance

An updated, Inspection and Maintenance Log listing individual BMP's, including the sweeping program, the inspection and maintenance requirements and the dates performed should be kept on site for a minimum of 3 years, on an ongoing basis.

BMP'S Maintenance Log

Date	Inspector			

Ownership and Responsibility

The proposed gasoline filling station is under the ownership of KANAAN REALTY GROUP, INC. who will be responsible for complying with all Environmental Permits.

During construction of the facility and the stormwater management system the Contractor will be responsible for all day to day operation and maintenance of all stormwater control systems. After construction is completed, of KANAAN REALTY GROUP, INC. will take over all maintenance requirements for the stormwater control system in compliance with this Operation & Maintenance Plan.

Responsible Party Contact Information

Responsible Party Information

Sam Kanaan
Kanaan Realty Group, Inc.
53 Court Street
Taunton, MA 02780
(617) 407-9977

Preliminary Stormwater O&M Maintenance Budget

Inspection and Maintenance = \$500.00 x 4 times per year = \$2,000.00

Lena Pires

From: Halim Choubah <hchoubah@gmail.com>
Sent: Thursday, February 3, 2022 4:00 PM
To: Lena Pires; Richard Villani; Jacquelyn Murphy; Alyssa Tham; Sameh Kanan
Subject: Fwd: 21-590 204 East Main Street, Milford MA (Revised Fuel License Plans)
Attachments: Fuel License Plans Revised 2-3-2022.pdf

CAUTION: This email originated from outside the **Town of Milford**. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Lena,

Hope all is well. Attached please find revised plans for the underground fuel storage tanks to be attached to the Storage License for your record. The only change on the plan is the relocation of the fuel tanks vents from the landscape island abutting East Main Street to the landscape island along the easterly property line. This would place the vents an additional 40 feet away from the existing residential properties to the south as requested by the abutters. The proposed vents pipes will be placed at least 50 feet from the East Main Street Line.

Sincerely,

Hal

Halim A. Choubah, P.E., President
Choubah Engineering Group, P.C.
Consulting Professional Engineers
112 State Road (Rte. 6)
N. Dartmouth MA 02747
Tel. (508) 858-5040
Fax (508) 858-5041

GENERAL NOTES TO CONTRACTOR

- PROPOSED WORK SHOWN ON THESE PLANS ARE ASSOCIATED WITH THE INSTALLATION OF 2 NEW 15,000 GALLON UNDERGROUND FUEL STORAGE TANKS, NEW CONCRETE CONTAINMENT PAD WITH FIVE FUELING PUMPS AND ISLANDS.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF MASSACHUSETTS AND THE TOWN OF MILFORD PRIOR TO COMMENCING ANY WORK.
- THE CONTRACTOR SHALL NOTIFY THE STATE TO DETERMINE EXACT LOCATION OF ALL UTILITY PRIOR TO ANY EXCAVATION (1-800-322-4844).
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW THE CONSTRUCTION DRAWING AND TO NOTIFY THE ENGINEER WITH ANY DISCREPANCY BETWEEN THE DESIGN AND THE MANUFACTURER'S REQUIREMENTS AND ALL LOCAL, STATE AND FEDERAL CODES.
- PROPOSED UNDERGROUND TANKS AND PUMPS SHOWN ARE SCHEMATIC ONLY. TANKS INSTALLATION, LAYOUT AND PIPE SIZING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MANUFACTURERS, THE STATE FIRE MARSHALL AND MASSACHUSETTS BOARD OF FIRE PREVENTION REGULATIONS, 310 CMR 80.00, THE FIRE SAFETY CODE AND THE LOCAL FIRE DEPARTMENT. THIS DRAWING IS NOT INTENDED TO SHOW EVERY JOINT, FITTING AND CONSTRUCTION DETAIL. THE NEW TANKS & PIPING DISPENSERS SHALL BE EQUIPPED WITH SYSTEM IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY AND JOB SAFETY ON THE SITE. THE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH "OSHA" AND THE LOCAL MUNICIPALITY CONSTRUCTION STANDARDS.
- THE CONTRACTOR SHALL BE CERTIFIED BY THE MANUFACTURERS TO INSTALL THE PROPOSED SYSTEM COMPONENTS IN ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS.
- PROPOSED UNDERGROUND STORAGE TANKS AND PIPING SHALL BE TESTED PER THE REQUIREMENTS OF THE MANUFACTURERS, THE STATE FIRE MARSHALL AND MASSACHUSETTS BOARD OF FIRE PREVENTION REGULATIONS, 310 CMR 80.00 PRIOR TO OPERATION. COPIES OF THE RESULTS SHALL BE SUBMITTED TO THE LOCAL FIRE DEPARTMENT AND OWNER.
- THE CONTRACTOR SHALL CONSTRUCT A 4000 PSI AIR ENTRAINED, REINFORCED CONCRETE PAD IN THE AREA SURROUNDING THE FUEL DISPENSING ISLAND AND OVER THE UNDERGROUND STORAGE TANKS. THE CONCRETE PAD SHALL BE SIX INCHES THICK OVER SIX INCHES COMPACTED GRAVEL.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ANY UNSUITABLE OR SURPLUS MATERIALS PROPERLY OFF SITE IN ACCORDANCE WITH LOCAL AND STATE ENVIRONMENTAL CODES.
- THE CONTRACTOR SHALL INSTALL A MONITORING SYSTEM TO DETECT ANY LEAK IN THE PRESSURIZED PIPING SYSTEM AND SHALL TEST TO NO LESS THAN 80 PSI THE PRODUCT LINES AND PRESSURE TEST THE FUEL DISPENSERS/SUMPS AND THE UNDERGROUND STORAGE TANKS, SUMPS, OUTER AND INNER WALLS PRIOR TO RESTART OF OPERATION.
- THE CONTRACTOR SHALL TERMINATE THE "VENT PIPE" FROM THE UNDERGROUND STORAGE TANKS A MINIMUM OF 50' FROM EAST MAIN STREET (ROUTE 16) AS SHOWN ON THIS PLAN. THE VENT PIPE SHALL BE FITTED WITH AN APPROVED WEATHER HOOD SCREEN.
- THERE WILL BE TWO 15,000 GALLON DOUBLE WALL TANKS, ONE SPLIT COMPARTMENT TANK WILL CONTAIN 10,000 GALLONS OF REGULAR UNLEADED AND 5,000 GALLONS OF DIESEL FUEL. THE OTHER SPLIT COMPARTMENT TANK WILL CONTAIN 10,000 GALLONS OF REGULAR UNLEADED AND 5,000 GALLONS OF SUPER UNLEADED GASOLINE.
- ALL TANKS SHALL BE EQUIPPED WITH CONTAINMENT MANHOLES, OVERFILL PROTECTION AND DRAINAGE FILL DROOP TUBES FOR VAPOR CONTROL. ALL PIPING SHALL DOUBLE WALL FLEXIBLE TOTAL CONTAINMENT.
- THE ISLAND BOLLARD SHALL BE A MINIMUM 6" DIAMETER, SCHEDULE 80 STEEL PIPE U-SHAPED FILLED WITH CONCRETE. THE PIPE SHALL BE SET IN 4000 PSI CONCRETE FOOTING, 24" IN DIAMETER AND 3'-0" DEEP.
- THE CONTRACTOR SHALL CONTINUE HIS OPERATIONS AND ACTIVITIES WITHIN THE PROPERTIES RIGHT OF WAY. NO PROPOSED WORK IS ANTICIPATED ON PUBLIC STREETS.
- THE CONTRACTOR SHALL MAINTAIN ALL EXCAVATION IN DRY CONDITIONS.
- ALL EXISTING UTILITIES WATER, GAS, DRAINS, & ELECTRIC SHALL BE PROPERLY PROTECTED AND MAINTAINED DURING THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL SHORE, BRACE, SHEET PILE OR OTHERWISE SUPPORT THE EXISTING BUILDING, UTILITIES AND STREET NEXT TO THE PROPOSED UNDERGROUND STORAGE TANKS DURING EXCAVATION.
- THE CONTRACTOR SHALL STRAP THE UNDERGROUND STORAGE TANKS TO THE CONCRETE SLAB PER THE MANUFACTURERS SPEC. CONCRETE SLAB SHALL BE SIZED BY THE TANK MANUFACTURERS TO RESIST UPLIFT WATER PRESSURE AND TO PREVENT TANKS FROM MOVEMENT.
- THE APPLICANT SHALL REVIEW THIS PLAN WITH THE LOCAL OFFICIALS TO CONFIRM ITS COMPLIANCE WITH LOCAL CODES AND ZONING BY-LAWS AND TO OBTAIN ANY PERMITS OR VARIANCES FOR THE PROPOSED WORK SHOWN ON THE PLAN.
- THE CONTRACTOR SHALL RELOCATE UTILITIES IN CONFLICT WITH THE TANKS LAYOUT IN ACCORDANCE WITH APPLICABLE CODES AND REQUIREMENTS OF UTILITY COMPANIES.
- LOCATION & DEPTH OF EXISTING UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION. LOCATIONS ARE NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL EXISTING UTILITIES ARE SHOWN.
- ANY DEVIATIONS FROM THE CONTENTS OF THESE PLANS WITHOUT WRITTEN CONSENT OF THIS ENGINEER WOULD MAKE IT NULL AND VOID.
- CONTRACTOR WILL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES IN THE DRAWINGS AND WILL NOT PROCEED WITH WORK IN THOSE AREAS UNTIL DISCREPANCIES ARE RESOLVED.
- ALL CONSTRUCTION MATERIAL, COMPONENTS AND METHODS EMPLOYED ON THIS PROJECT WORK SHALL CONFORM TO THE TOWN OF MILFORD OR THE MASS DOT FOR BRIDGES AND HIGHWAYS AS AMENDED TO PRESENT.
- IN CASE OF A CONFLICT BETWEEN THE PROPOSED WORK SHOWN ON THIS PLAN AND THE APPLICABLE LOCAL AND STATE CODES, THE APPLICABLE CODES SHALL CONTROL.

NOTE:
SEE STATE APPROVED FIRE SUPPRESSION FOR POSITIVE LIMITING BARRIER DIMENSIONS AND FIRE SUPPRESSION SYSTEM

W.P. EL=295.9±
"PARCEL 2"
80,001±S.F.
OR
1.84±AC.

NOTES:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY AND JOB SAFETY ON THE SITE. THE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH "OSHA" AND THE LOCAL MUNICIPALITY CONSTRUCTION STANDARDS.
2. ALL EXISTING UTILITIES WATER, GAS, DRAINS & ELECTRIC SHALL BE PROPERLY PROTECTED AND MAINTAINED DURING THE CONSTRUCTION PERIOD.

SITE DATA:
ADDRESS:
204 EAST MAIN STREET,
MILFORD, MA 01757
ZONING DISTRICT:
HIGHWAY INDUSTRIAL (B)
HIGHWAY & NEIGHBORHOOD
INDUSTRIAL (C)
TOTAL AREA:
80,001 ± S.F. 1.84 ACRES
OWNER ON RECORD:
CANAAN REALTY 2, LLC
53 COURT STREET
TAUNTON, MA 02780
USE:
VACANT LOT



CHOUBAH ENGINEERING GROUP, P.C.
CEG
CONSULTING PROFESSIONAL ENGINEERS
112 STATE ROAD (ROUTE 6)
N. DARTMOUTH, MA 02747
TEL: 208-656-5480 FAX: 208-656-5041
www.choubahcep.com

Project:
PROPOSED GASOLINE FILLING STATION WITH CONVENIENCE STORE AT 204 EAST MAIN STREET MAP: 32 BLOCK: 0 LOT: 14A MILFORD, MA 01757

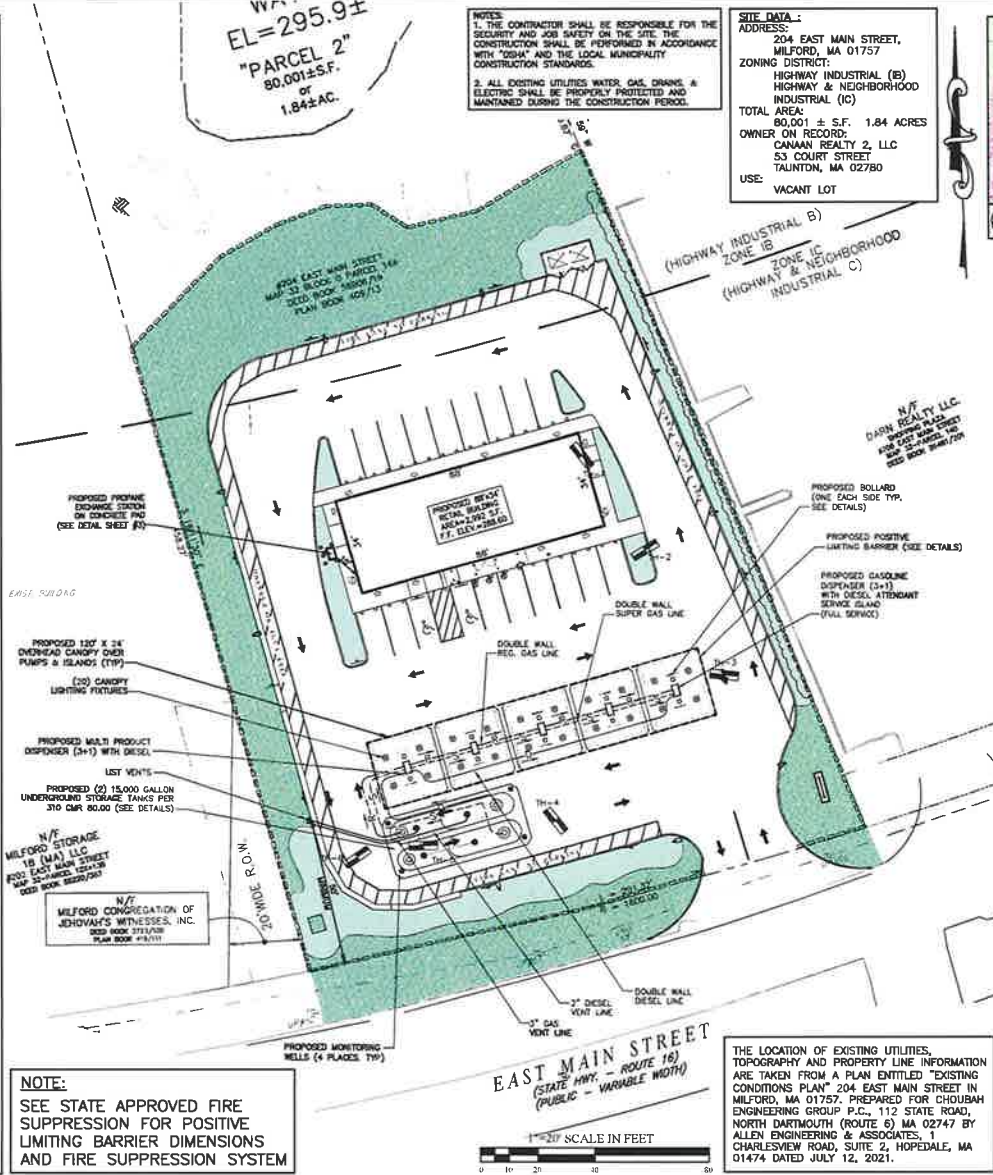
Prepared For:
CANAAN REALTY 2, LLC
53 COURT STREET
TAUNTON, MA 02780

GAS LINE LEGEND

SYMBOL	DESCRIPTION
D	PROP. DIESEL GAS LINE
R	PROP. REGULAR GAS LINE
S	PROP. SUPER GAS LINE

LEGEND

SYMBOL	DESCRIPTION
---	EXIST. CONTOUR
---	EXIST. SPOT GRADE
---	PROPOSED SPOT GRADE
---	PROPERTY LINE
---	ZONING LINE
---	EDGE OF TREES/WOODED AREA
U/P	PROP. UTILITY POLE
L/P	EXIST. LIGHT POLE
S/P	SINGLE PROP. LIGHT POLE
D/P	DOUBLE PROP. LIGHT POLE
EP	PROP. EDGE OF PAVEMENT
V/C	EXIST. VERTICAL GRANITE CURB
V/C	PROP. VERTICAL GRANITE CURB
CC	CONCRETE CURB
PK	PROP. PYLON SIGN
MA	EXIST. GATE
MA	MA HIGHWAY BOUND
⊙	NUMBER OF PARKING SPACES
TH	TEST PIT
GD	GROUND CLEANOUT
S	EXIST. SEWER LINE
S	PROP. SEWER LINE
W	EXIST. WATER LINE
W	PROP. WATER LINE
E	EXIST. ELECTRIC LINE
E	PROP. ELECTRIC LINE
G	EXIST. GAS LINE
G	PROP. GAS LINE
T	EXIST. TELEPHONE LINE
T	PROP. TELEPHONE LINE
D	EXIST. DRAINAGE LINE
D	PROP. DRAINAGE LINE
OW	EXIST. OVERHEAD WIRE
OW	PROP. OVERHEAD WIRE
CB	EXIST. CATCH BASIN
CB	PROP. CATCH BASIN
EM	EXIST. ELECTRIC MANHOLE
EM	PROP. ELECTRIC MANHOLE
SM	EXIST. SEWER MANHOLE
SM	PROP. SEWER MANHOLE
EM	EXIST. ELECTRIC MANHOLE
EM	PROP. ELECTRIC MANHOLE
GP	PROP. GAS PUMPS



THE LOCATION OF EXISTING UTILITIES, TOPOGRAPHY AND PROPERTY LINE INFORMATION ARE TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS PLAN" 204 EAST MAIN STREET IN MILFORD, MA 01757. PREPARED FOR CHOUBAH ENGINEERING GROUP, P.C., 112 STATE ROAD, NORTH DARTMOUTH (ROUTE 6) MA 02747 BY ALLEN ENGINEERING & ASSOCIATES, 1 CHARLESVIEW ROAD, SUITE 2, HOPEDALE, MA 01474 DATED JULY 12, 2021.

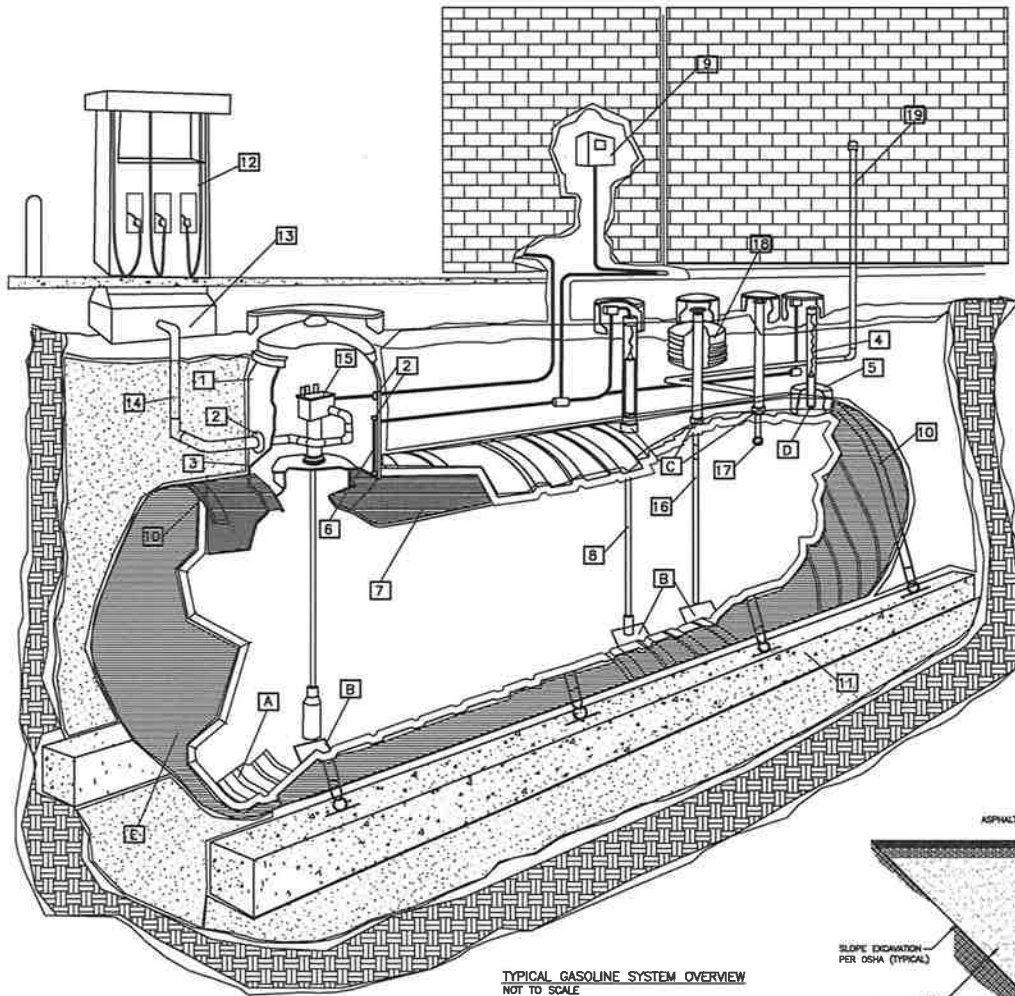


Issue Date: 12/11/2021

No.	Date	Description
1	12/09/2021	Revised ERT Plans

Project Number: 21-590
Scale: AS SHOWN
Designed By: CMS
Drawn By: CMS
Checked By: HC
Sheet Title:

PROPOSED PIPING PLAN



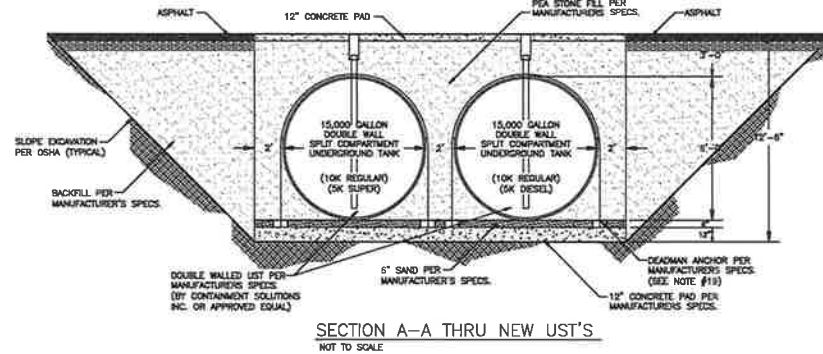
TYPICAL GASOLINE SYSTEM OVERVIEW
NOT TO SCALE

GASOLINE SYSTEM LEGEND

- | | | |
|---------------------------------|---|--------------------------------------|
| A- FLOW CHANNELS | 1. FRP TURBINE ENCLOSURE | 11. DEDHAM ANCHOR SYSTEM |
| B- TANK BOTTOM DEFLECTOR PLATES | 2. FITTING KITS FOR TURBINE ENCLOSURE | 12. DISPENSER |
| C- PRIMARY TANK FITTINGS | 3. FRP SECONDARY CONTAINMENT COLLAR | 13. DISPENSER SLAB |
| D- MONITORING FITTING | 4. RESERVOIR SENSOR | 14. DOUBLE-WALL PIPE |
| E- DOUBLE-WALL FIBERGLASS TANK | 5. FIBERGLASS RESERVOIR (REPLACES MONITORING FITTING) | 15. SUBMERSIBLE PUMP |
| | 6. CONTAINMENT COLLAR ISOSON DEVICE | 16. FILL TUBE WITH OVERFILL SHUT OFF |
| | 7. MONITORING FLUID WITH COLOR TRACER | 17. BALL FLOAT VALVE |
| | 8. ELECTRONIC INVENTORY GAUGE | 18. OVERFILL SPILL CONTAINER |
| | 9. ELECTRONIC CONTROL PANEL | 19. PRIMARY TANK VENT |
| | 10. SPLIT STRAP ANCHOR SYSTEM | |

GENERAL NOTES TO CONTRACTOR

- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF MASSACHUSETTS AND THE TOWN OF MILFORD PRIOR TO COMMENCING ANY WORK.
- THE CONTRACTOR SHALL NOTIFY DIO SAFE TO DETERMINE EXACT LOCATION OF ALL UTILITY PRIOR TO ANY EXCAVATION (1-800-322-4944).
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW THE CONSTRUCTION DRAWING AND TO NOTIFY THE ENGINEER WITH ANY DISCREPANCY BETWEEN THE DESIGN AND THE MANUFACTURERS REQUIREMENTS AND ALL LOCAL, STATE AND FEDERAL CODES.
- PROPOSED UNDERGROUND TANKS AND PUMPS SHOWN ARE SCHEMATIC ONLY. TANKS INSTALLATION, LAYOUT AND PIPE SIZING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MANUFACTURERS. THE STATE FIRE MARSHALL AND MASSACHUSETTS BOARD OF FIRE PREVENTION REGULATIONS, 310 CMR 80.00, THE FIRE SAFETY CODE AND THE LOCAL FIRE DEPARTMENT. THIS DRAWING IS NOT INTENDED TO SHOW EVERY JOINT, FITTING AND CONSTRUCTION DETAIL. THE NEW TANKS & PUMP DISPENSERS SHALL BE EQUIPPED WITH SYSTEM IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
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- THE CONTRACTOR SHALL CONSTRUCT A 4000 PSI AIR ENTRAINED REINFORCED CONCRETE PAD IN THE AREA SURROUNDING THE FUEL DISPENSING ISLAND AND OVER THE UNDERGROUND STORAGE TANKS. THE CONCRETE PAD SHALL BE SIX INCHES THICK OVER SIX INCHES COMPACTED GRAVEL.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ANY UNSATURABLE OR SURPLUS MATERIALS PROPERLY OFF SITE IN ACCORDANCE WITH LOCAL AND STATE ENVIRONMENTAL CODES.
- THE CONTRACTOR SHALL INSTALL A MONITORING SYSTEM TO DETECT ANY LEAK IN THE PRESSURIZED PIPING SYSTEM AND SHALL TEST TO NO LESS THAN 60 PSI THE PRODUCT LINES AND PRESSURE TEST THE FUEL DISPENSERS/SUMPS AND THE UNDERGROUND STORAGE TANKS, SUMPS, OUTER AND INNER WALLS PRIOR TO RESTART OF OPERATION.
- THE CONTRACTOR SHALL TERMINATE THE "VENT PIPE" FROM THE UNDERGROUND STORAGE TANKS A MINIMUM OF 50' FROM EAST MAIN STREET (ROUTE 16) AS SHOWN ON THIS PLAN. THE VENT PIPE SHALL BE FITTED WITH AN APPROVED WEATHER HOOD SCREEN.
- THERE WILL BE TWO (2) 15,000 GALLON DOUBLE WALL TANKS. ONE SPLIT COMPARTMENT TANK WILL CONTAIN 10,000 GALLONS OF REGULAR GALLONS OF DIESEL FUEL. THE OTHER 15,000 GALLON TANK WILL CONTAIN 10,000 GALLONS OF REGULAR UNLEADED AND 5,000 GALLONS OF SUPER GASOLINE.
- ALL TANKS SHALL BE EQUIPPED WITH CONTAINMENT MANHOLES, OVERFILL PROTECTION AND COAXIAL FILL DROP TUBES FOR VAPOR CONTROL. ALL PIPING SHALL DOUBLE WALL FLEXIBLE TOTAL CONTAINMENT.
- THE ISLAND BOLLARD SHALL BE A MINIMUM 6" DIAMETER, SCHEDULE 80 STEEL PIPE U-SHAPED FILLED WITH CONCRETE. THE PIPE SHALL BE SET IN 4000 PSI CONCRETE FOOTING, 24" IN DIAMETER AND 3'-6" DEEP.
- THE CONTRACTOR SHALL CONFINE HIS OPERATIONS AND ACTIVITIES WITHIN THE PROPERTIES RIGHT OF WAY. NO PROPOSED WORK IS ANTICIPATED ON PUBLIC STREETS.
- THE CONTRACTOR SHALL MAINTAIN ALL EXCAVATION IN DRY CONDITIONS.
- ALL EXISTING UTILITIES WATER, GAS, DRAINS, & ELECTRIC SHALL BE PROPERLY PROTECTED AND MAINTAINED DURING THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL SHORE, BRACE, SHEET PILE OR OTHERWISE SUPPORT THE EXISTING BUILDING, UTILITIES AND STREET NEXT TO THE PROPOSED UNDERGROUND STORAGE TANKS DURING EXCAVATION.
- THE CONTRACTOR SHALL STRAP THE UNDERGROUND STORAGE TANKS TO THE CONCRETE SLAB PER THE MANUFACTURERS SPEC. CONCRETE SLAB SHALL BE SIZED BY THE TANK MANUFACTURERS' TO RESIST UPLIFT WATER PRESSURE AND TO PREVENT TANKS FROM MOVEMENT.
- THE APPLICANT SHALL REVIEW THIS PLAN WITH THE LOCAL OFFICIALS TO CONFIRM ITS COMPLIANCE WITH LOCAL CODES AND ZONING BY-LAWS AND TO OBTAIN ANY PERMITS OR VARIANCES FOR THE PROPOSED WORK SHOWN ON THE PLAN.
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- LOCATION & DEPTH OF EXISTING UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION. LOCATIONS ARE NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL EXISTING UTILITIES ARE SHOWN.
- ALL WORK SHALL CONFORM TO THE AMERICAN PETROLEUM INSTITUTE (API) STANDARDS IN ADDITION TO LOCAL, STATE AND FEDERAL REQUIREMENTS.



SECTION A-A THRU NEW UST'S
NOT TO SCALE

DEDDHAM ENGINEERING GROUP, P.C.
DEG
CONSULTING PROFESSIONAL ENGINEERS

112 STATE ROAD (ROUTE 6)
NO. DARTMOUTH, MA 02147
TEL: (978) 858-5948 FAX: (978) 858-5441
www.deddegroup.com

Project:

PROPOSED GASOLINE FILLING STATION WITH CONVENIENCE STORE AT 204 EAST MAIN STREET MAP: 32 BLOCK: 0 LOT: 14A MILFORD, MA 02175

Prepared For:

CANAAN REALTY 2, L.L.C.
53 COURT STREET
TAUNTON, MA 02780



Issue Date: 11/17/2011

No.	Date	Description
1	11/09/2011	Revised Unit Volumes

Project Number: 21-590

Scale: AS SHOWN

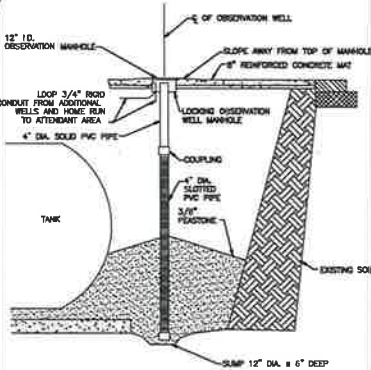
Designed By: CMS

Drawn By: CMS Checked By: TIC

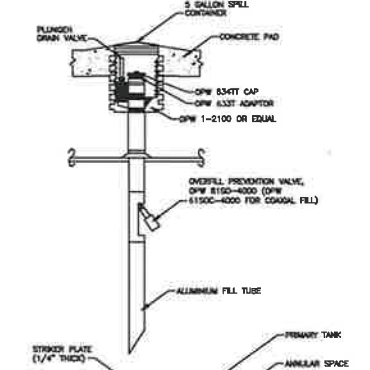
Sheet Title:

UNDERGROUND FUEL STORAGE TANKS DETAILS

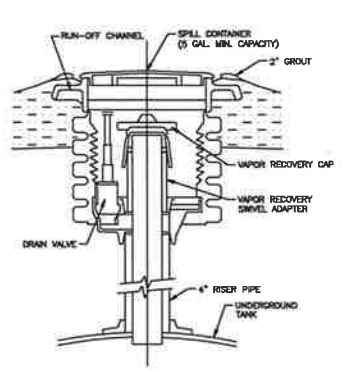
Sheet Number: 2 OF 3



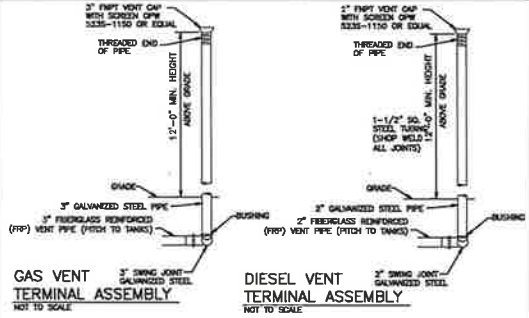
OBSERVATION WELL
NOT TO SCALE



FILL W/SPILL BUCKET AND OVERFLOW PREVENTION
NOT TO SCALE

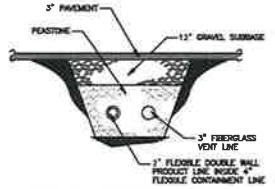


FUEL TANK VAPOR RECOVERY DETAIL
(TYPICAL FOR VAPOR RECOVERY CONNECTION)
NOT TO SCALE

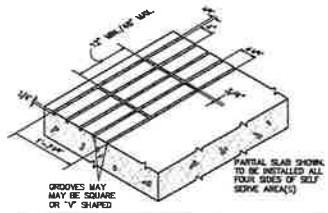


GAS VENT TERMINAL ASSEMBLY
NOT TO SCALE

DIESEL VENT TERMINAL ASSEMBLY
NOT TO SCALE

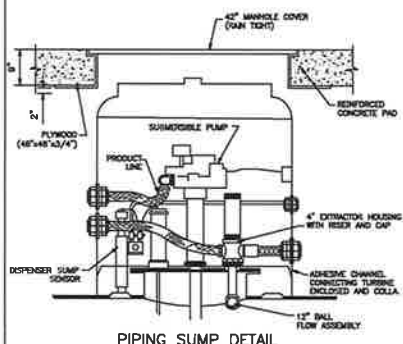


TYPICAL TRENCH DETAIL
NOT TO SCALE

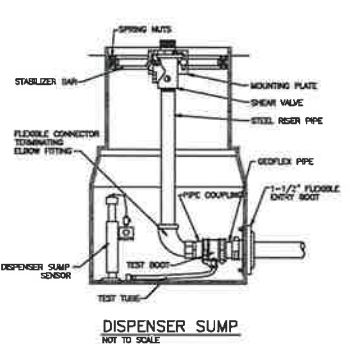


THE POSITIVE LIMITING BARRIER TO BE FIVE CONTINUOUS SQUARE OR V GROOVES 3/4" WIDE BY 3/4" DEEP ON 4 3/4" CENTERS WITH CROSS INTERCONNECTING GROOVES EITHER SQUARE OR V, EQUALLY SPACED AT MINIMUM 12" UP TO MAXIMUM 48" CENTERS. THE OUTSIDE GROOVE TO BE AT LIMITS OF HAZARD PROTECTION AREA AND THE POTENTIAL SPILL AREA TO BE WITHIN THIS PROTECTED AREA.

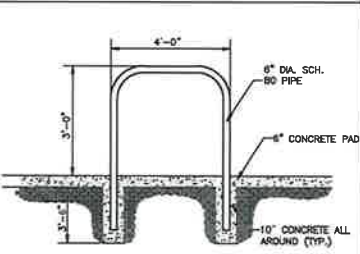
POSITIVE LIMITING BARRIER
NOT TO SCALE



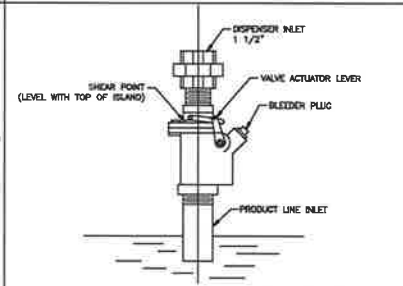
PIPING SUMP DETAIL
NOT TO SCALE



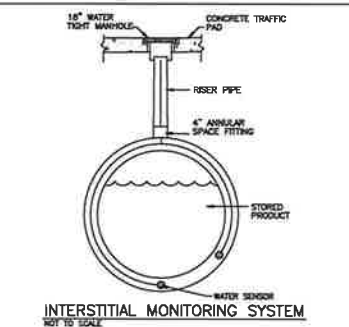
DISPENSER SUMP
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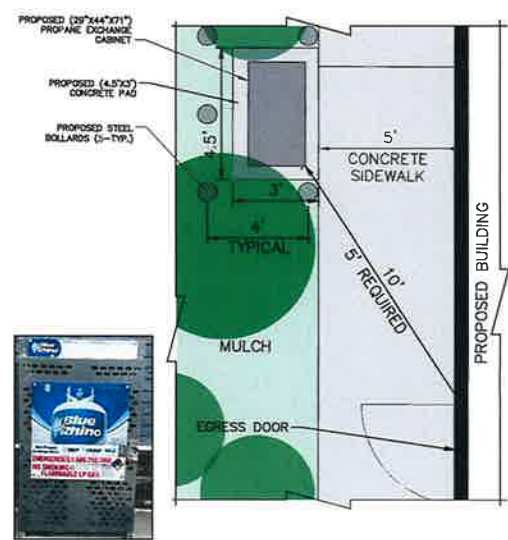
TYPE "U" BUMPER DETAIL
NOT TO SCALE



TYPICAL EMERGENCY CRASH VALVE INSTALLATION
NOT TO SCALE



INTERSTITIAL MONITORING SYSTEM
NOT TO SCALE



PROPANE EXCHANGE CABINET
NOT TO SCALE

PROPANE EXCHANGE STATION DETAIL
NOT TO SCALE

CEG
CONSULTING PROFESSIONAL ENGINEERS
111 STATE ROAD (ROUTE 6)
NO. BARTMOUTH, MA 01247
TEL: (508) 858-5646 FAX: (508) 858-6541
www.cegma.com

Project:
PROPOSED GASOLINE FILLING STATION WITH CONVENIENCE STORE AT 204 EAST MAIN STREET MAP, 32 BLOCK, 0 LOT: 14A MILFORD, MA 01757

Prepared For:
CANAAAN REALTY 2, LLC
53 COURT STREET
TAUNTON, MA 02780



Issue Date: 12/17/2021		
Revisions:		
No.	Date	Description
1	12/01/2022	Revised UFF Plans

Project Number: 21-590
Scale: AS SHOWN
Designed By: CMS
Drawn By: CMS
Checked By: HC
Sheet Title:

PROPOSED TANK DETAILS



C-2
2-7-22

MILFORD SELECT BOARD

Room 11, Town Hall, 52 Main St. (Route 16), Milford, Massachusetts 01757-2679
Phone 508-634-2303 Fax 508-634-2324

Michael K. Walsh, Chairman
Thomas J. O'Loughlin, Esq.
Paul A. Mazzuchelli

Richard A. Villani
Town Administrator

TOWN OF MILFORD: NOTICE OF PUBLIC HEARING

Notice is hereby given that the Milford Select Board has received the following petition:

PLAN NO. 3041336
RECEIVED FROM: Massachusetts Electric Company
DESCRIPTION: Senate Road

Replacing Direct buried underground electric cables with cable in conduit using directional drill method.

A Select Board meeting will be held on Monday February 7, 2022, Room 03 Milford Town Hall at 7:00PM to discuss this petition.

Abutters are invited to attend this hearing and participate in the discussion if you wish to do so.

PER ORDER SELECT BOARD

Michael K. Walsh, Chairman

Thomas J. O'Loughlin, Esq.

Paul A. Mazzuchelli

cc: Massachusetts Electric
Files

January 26, 2022

PETITION FOR MANHOLE AND DUCT LOCATIONS

October 18, 2021

Town
Copy

To the Board of Selectmen
of the Town of Milford, Massachusetts

MASSACHUSETTS ELECTRIC COMPANY requests permission to locate manholes, wires, and ducts, including the necessary sustaining and protecting fixtures, along and across the following public way:

Senate Rd


Replacing Direct buried underground electric cables with cable in conduit using directional drill method

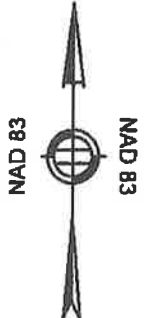
Wherefore it prays that after due notice and hearing as provided by law, it be granted a location for and permission to install and maintain manholes, ducts and wires, together with such sustaining and protecting fixtures as it may find necessary, said manholes and ducts to be installed substantially in accordance with the plan filed herewith marked--

MASSACHUSETTS ELECTRIC COMPANY

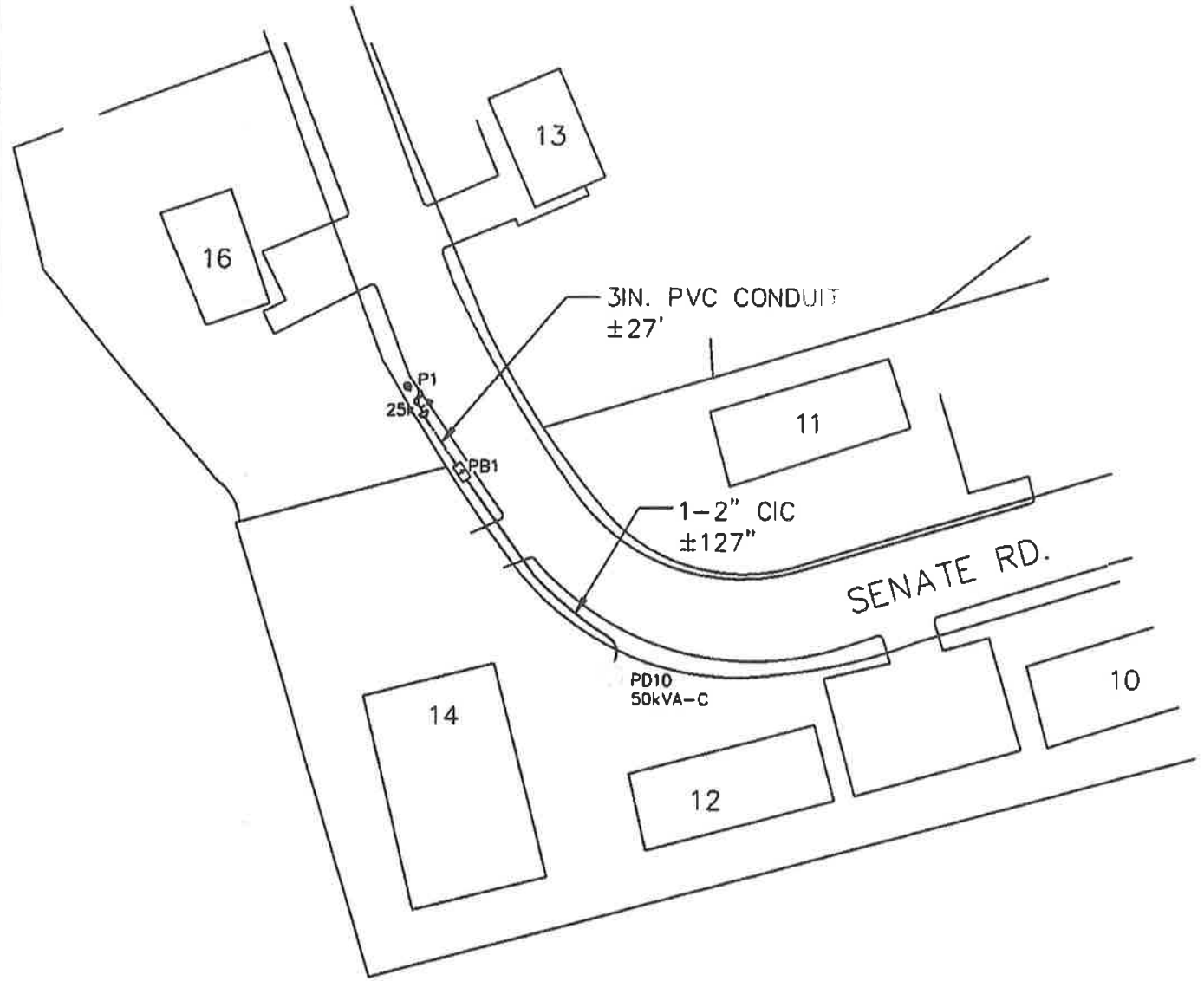
Plan No. 30414336 Dated: 10/18/2021

MASSACHUSETTS ELECTRIC COMPANY

By:  DBA Robert Leonida
Manager of Distribution Design



Replacing direct buried cable with cable in conduit using directional drill method.



LEGEND

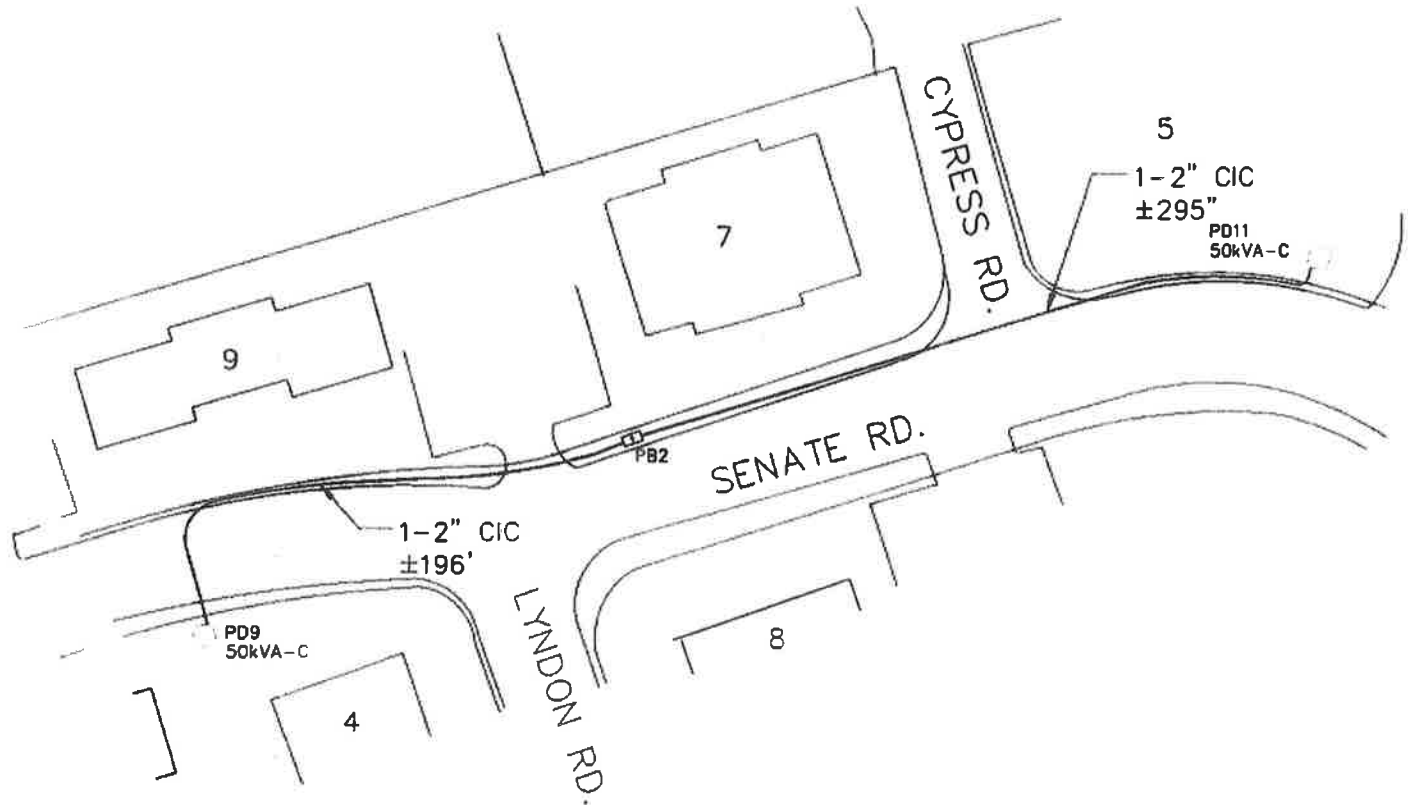
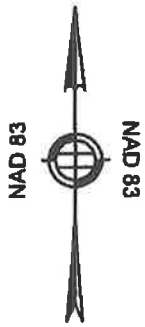
	J/O POLE		3IN. PVC CONDUIT
	PULL BOX		2" CABLE IN CONDUIT
	SINGLE PHASE TRANSFORMER PAD		

SENATE ROAD PETITION

MILFORD
SHEET 1 OF 2

Date: 10.5.2021
Designer F.A.
MA. W/R: 30414336





LEGEND

-  J/O POLE
-  PULL BOX
-  SINGLE PHASE TRANSFORMER PAD
-  3IN. PVC CONDUIT
-  2" CABLE IN CONDUIT

SENATE ROAD
PETITION

Date: 10.5.2021
 Designer F.A.
 MA. W/R 30414336

MILFORD
 SHEET 2 OF 2

nationalgrid

D-1
2-7-22

DEPARTMENT HEAD REVIEW FORM

1. Name of Business: **Extreme Nutrition**
2. Mailing Address: **132 Main Street**
Assessors ID#: **Map 48 Block 0 Lot 437 Zone CA**

3. Has applied for: **Common Victualler License**
4. Selectmen will take action on: **Monday February 7, 2022**
5. Hearing Continued/Postponed/MGL Deadline: _____
6. Abutters Notified: N/A Published: _____
7. Inquiry Sent To Dept. Heads on: **1/10/2022**
8. Please Respond By: **1/14/2022**
9. License Approved: _____ Denied: _____ Tabled: _____ On _____

.....
Building Commissioner: (Zoning, Occupancy, Building/Handicap Access, Restroom Handicap Access, etc.) **CA zone, allowable use, occupant load 49, Building and restrooms not accessible**

Town Planner: (Site Plan/Special Permit; Other Requirements/Stipulations) **Ok-No change of actual use**

Tax Collector: (Outstanding Taxes) **No outstanding taxes**

Town Treasurer: (Outstanding Tax Liens) **None**

Fire Chief: (Information/Comment) **No objections**

Police Chief: (Information/Comment) **No objections**

Criminal Offense Record Info: (CORI) Approved Disapproved

Board of Health: (Information/comment) **No Violations**

Sewer Commission: (Information/Comment) _____

Milford Water Dept: (Information/comment) _____

Commission on Disability: (Information/comment) _____

Dept. Head Signature: _____ **Date:** _____

.....
Contact Name/Manager: *Maria Caguana* **D.O.B.** **SS #**

Phone: 774-244-5007 **e-mail:** *mariamc1581@gmail.com*



MILFORD SELECT BOARD

Room 11, Town Hall, 52 Main St. (Route 16), Milford, Massachusetts 01757-2679

508-634-2303

Fax 508-634-2324

www.milfordma.gov

LICENSE APPLICATION (CHECK ONE)

- APPLICATION FOR A NEW LICENSE
- TRANSFER OF AN EXISTING LICENSE
- AMENDMENT TO EXISTING LICENSE (Change of operating days/hours, change of location, etc.) *describe on reverse*

- | | |
|---|---|
| 1. <input type="checkbox"/> AUCTIONEER | 11. <input type="checkbox"/> LIVE ENTERTAINMENT (<i>describe on reverse</i>) |
| 2. <input type="checkbox"/> BOARDING HOUSE | 12. <input type="checkbox"/> AUTOMATIC AMUSEMENT
(Coin-Operated Games) |
| 3. <input type="checkbox"/> BOWLING ALLEY(S) | 13. <input type="checkbox"/> TRANSIENT VENDORS |
| 4. <input checked="" type="checkbox"/> COMMON VICTUALLER | 14. <input type="checkbox"/> CARNIVAL/CIRCUS
Location: _____ |
| 5. <input type="checkbox"/> FORTUNE TELLER | 15. <input type="checkbox"/> CHRISTMAS TREE SALES |
| 6. <input type="checkbox"/> HAWKERS/PEDDLERS | \$ <input type="checkbox"/> VALUE OF GOODS |
| 7. <input type="checkbox"/> INNHOLDERS | 16. <input type="checkbox"/> CLASS I (NEW CARS) |
| 8. <input type="checkbox"/> POOL TABLES | <input type="checkbox"/> CLASS II (USED CARS) |
| 9. <input type="checkbox"/> 2 ND HAND/ANTIQUA DEALER | <input type="checkbox"/> CLASS III (JUNK CARS) - Public Hearing Required
(Describe on Reverse) |
| 10. <input type="checkbox"/> PAWNBROKER | 17. <input type="checkbox"/> WORKERS COMPENSATION IF NEEDED |

SEE ADDITIONAL INFORMATION REQUIRED BELOW

BUSINESS NAME: Extreme - Nutrition!!

BUSINESS ADDRESS: 132 Main st Milford

DAYS/HOURS OF OPERATION: 6:00 AM - 9:00 PM 6 days Tuesday-Sunday
(Some Sunday licenses may require approval of State DPS)

I/We, the undersigned, apply for this license in accordance with the provisions of all Statutes relating thereto. I/We further certify, under penalties of perjury, that, to the best of my/our knowledge and belief, I/We have filed all state tax returns and paid all state taxes required under law.

NAME OF APPLICANT: Maria Caguana

MAILING ADDRESS: _____

EMAIL ADDRESS: Mariac1581@gmail.com

APPLICANT'S DATE OF BIRTH: 04/13/81

Social Security No. (Mandatory) _____ and _____ Federal Identification No. (Mandatory)

APPLICANT'S SIGNATURE: Maria Caguana **DATE:** 01/10/12
(Individual or Corporate Officer)

Type or print name on this line _____ Daytime Telephone Number (774) 244 5009

IMPORTANT: Read this section carefully. Provide required information on reverse side. *Additional Information Required:*

- License # Above**
- 1 Provide copy of State and/or County Auctioneer's License
 - 3, 8, 12 Indicate number of alleys, pool tables and number and types of coin-operated games
 - 6, 9, 10, 13 Request Town By Laws, which states applicant's responsibility
 - 6, 13 Describe in detail: type, quantity, and cost (to you) of goods to be offered for sale
 - 11 Describe in detail: type of live entertainment to be licensed
 - 14 Applicant must request and agree to abide by established policy

CONTINUE APPLICATION PROCESS ON REVERSE SIDE OF THIS FORM

D-2
2-7-22

DEPARTMENT HEAD REVIEW FORM

- 1. Name of Business: **NUTRIFORIA**
- 2. Mailing Address: **91 Medway Road, Suite 10B**
Assessors ID#: **Map 43 Block 0 Lot 5A Zone IB**
- 3. Has applied for: **Common Victualler License**
- 4. Selectmen will take action on: **2/7/2022**
- 5. Hearing Continued/Postponed/MGL Deadline: _____
- 6. Abutters Notified: **N/A** Published: **N/A**
- 7. Inquiry Sent To Dept. Heads on: _____
- 8. Please Respond By: _____
- 9. License Approved: _____ Denied: _____ Tabled: _____ On _____

.....
Building Commissioner: (Zoning, Occupancy, Building/Handicap Access, Restroom Handicap Access, etc.) **IB zone, allowable use, building and restrooms are accessible**

Town Planner: (Site Plan/Special Permit; Other Requirements/Stipulations) **Ok-No change of actual use**

Tax Collector: (Outstanding Taxes) **No outstanding taxes**

Town Treasurer: (Outstanding Tax Liens) **None**

Fire Chief: (Information/Comment) **No objections, will require final inspection prior to opening**

Police Chief: (Information/Comment) **No issues**

Criminal Offense Record Info: (CORI) Approved Disapproved

Board of Health: (Information/comment) **All equipment in place and operating properly. All food safety certifications are current**

Sewer Commission: (Information/Comment) _____

Milford Water Dept: (Information/comment) _____

Commission on Disability: (Information/comment) _____

Dept. Head Signature: _____ **Date:** _____

.....
Contact Name/Manager: *Julien McNeary* **D.O.B.** _____ **SS #** _____

Phone: 617-640-4525 **e-mail:** Julien.mcneary@nutriforia.llc



MILFORD SELECT BOARD

Room 11, Town Hall, 52 Main St. (Route 16), Milford, Massachusetts 01757-2679

508-634-2303

Fax 508-634-2324

www.milfordma.gov

LICENSE APPLICATION (CHECK ONE)

- APPLICATION FOR A NEW LICENSE
- TRANSFER OF AN EXISTING LICENSE
- AMENDMENT TO EXISTING LICENSE (Change of operating days/hours, change of location, etc.) *describe on reverse*

- | | |
|---|---|
| 1. <input type="checkbox"/> AUCTIONEER | 11. <input type="checkbox"/> LIVE ENTERTAINMENT (<i>describe on reverse</i>) |
| 2. <input type="checkbox"/> BOARDING HOUSE | 12. <input type="checkbox"/> AUTOMATIC AMUSEMENT
(Coin-Operated Games) |
| 3. <input type="checkbox"/> BOWLING ALLEY(S) | 13. <input type="checkbox"/> TRANSIENT VENDORS |
| 4. <input checked="" type="checkbox"/> COMMON VICTUALLER | 14. <input type="checkbox"/> CARNIVAL/CIRCUS
Location: _____ |
| 5. <input type="checkbox"/> FORTUNE TELLER | 15. <input type="checkbox"/> CHRISTMAS TREE SALES |
| 6. <input type="checkbox"/> HAWKERS/PEDDLERS | \$ <input type="checkbox"/> VALUE OF GOODS |
| 7. <input type="checkbox"/> INNHOLDERS | 16. <input type="checkbox"/> CLASS I (NEW CARS) |
| 8. <input type="checkbox"/> POOL TABLES | <input type="checkbox"/> CLASS II (USED CARS) |
| 9. <input type="checkbox"/> 2 ND HAND/ANTIQUÉ DEALER | <input type="checkbox"/> CLASS III (JUNK CARS) - Public Hearing Required
(Describe on Reverse) |
| 10. <input type="checkbox"/> PAWNBROKER | 17. <input type="checkbox"/> WORKERS COMPENSATION IF NEEDED |

SEE ADDITIONAL INFORMATION REQUIRED BELOW

BUSINESS NAME: Nutriforia

BUSINESS ADDRESS: 91 Medway Rd, Milford MA 01757

DAYS/HOURS OF OPERATION Mon-Fri (6a-6p) Sat-Sun (9-3)
(Some Sunday licenses may require approval of State DPS)

I/We, the undersigned, apply for this license in accordance with the provisions of all Statutes relating thereto. I/We further certify, under penalties of perjury, that, to the best of my/our knowledge and belief, I/We have filed all state tax returns and paid all state taxes required under law.

NAME OF APPLICANT: Julien McNeary

MAILING ADDRESS: 169 Dutcher St, Hopedale Ma 01747

EMAIL ADDRESS: Julien.mcneary@nutriforia.llc

APPLICANT'S DATE OF BIRTH: 01/08/1976

275-72-8724 and 85-3157536
Social Security No. (Mandatory) Federal Identification No. (Mandatory)

APPLICANT'S SIGNATURE: **DATE:** 11.4.2021
(Individual or Corporate Officer)

Julien McNeary (617) 640-4525
Type or print name on this line Daytime Telephone Number

IMPORTANT: Read this section carefully. Provide required information on reverse side. *Additional Information Required:*
License # Above

- 1 Provide copy of State and/or County Auctioneer's License
- 3, 8, 12 Indicate number of alleys, pool tables and number and types of coin-operated games
- 6, 9, 10, 13 Request Town By Laws, which states applicant's responsibility
- 6, 13 Describe in detail: type, quantity, and cost (to you) of goods to be offered for sale
- 11 Describe in detail: type of live entertainment to be licensed
- 14 Applicant must request and agree to abide by established policy

CONTINUE APPLICATION PROCESS ON REVERSE SIDE OF THIS FORM

Lena Pires

E-1
2-7-22

From: Geri Eddins <geri@eddins.net>
Sent: Wednesday, January 26, 2022 1:34 PM
To: Richard Villani; Michael Walsh; Thomas O'Loughlin; Paul Mazzuchelli
Cc: Lena Pires; Sandee Buckley; MIKE VISCONTI; Auger, Molly
Subject: Request for Two Reappointments to the Milford Cultural Council

CAUTION: This email originated from outside the **Town of Milford**. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Gentlemen:

The first term for the following three members of the Milford Cultural Council expires on February 11, 2022: Molly Auger, Mike Visconti, and myself.

Per Mass Cultural Council policy, each local council member can serve a total of two back-to-back terms. Each term is three years.

I have been in touch with both Mike and Molly. Mike would like to be reappointed, but Molly has requested that she not be reappointed at this time. I understand that you have received Mike's request for reappointment. You can read Molly's email to me regarding her request below.

At this time, I would like to respectfully request that you reappoint both Mike Visconti and myself to a second term on the Milford Cultural Council. Mike has been a valuable member of the council since we reorganized three years ago, and he has served as a key member of our Public Art subcommittee. I have been honored to serve as chair for the past three years and am eager to continue working with everyone in this group to help enhance the cultural vitality of the community.

The loss of Molly Auger leaves one open seat in the Cultural Council. The vice chair and I are currently reviewing the talent bank applications on hand and would like the opportunity to discuss our options with the other council members at our next meeting on February 15. **I respectfully request that you do not appoint a member to that seat until we have had an opportunity to review the talent bank and to vote on our recommendation, which we will forward to you as soon as possible.**

Lastly, I hope you will join me in thanking Molly Auger for her exceptional three years of service to the Milford Cultural Council. She has directed our media outreach with both professionalism and enthusiasm. She was also the driving force behind our two Deck the House! Holiday Lighting Contests and an active member of the Public Art subcommittee. Her talents will be missed by all of us.

Thank you for your kind consideration of these requests. If you have any questions, please feel free to email or call.

All the best,
Geri Eddins
Milford Cultural Council, Chair

EMAIL FROM MCC MEMBER MOLLY AUGER

Cultural Council



Auger, Molly <Molly.Auger@psc.com>
to Geri Eddins [Show details](#)

Jan 25 (2020)

Inbox



[Reply](#)

Please accept this email as my formal request for non-reappointment to The Milford Cultural Council. My tenure with the Milford Cultural Council has been mothering short of magnificent and I will miss it greatly. Thank you for your kindness, partnership and amazing leadership.



Warmly,

Molly Auger

Piper Sandler & Co. Since 1895. Member SIPC and NYSE.

Piper Sandler outgoing and incoming e-mail is electronically archived and recorded and is subject to review, monitoring and/or disclosure to someone other than the recipient. If you are not the intended recipient, any disclosure, copying or distribution is prohibited; you should contact the sender immediately and delete it from your system. This e-mail may be considered an advertisement or solicitation for purposes of regulation of commercial electronic mail messages. If you do not wish to receive commercial email communication from Piper Sandler please send or forward the email to NoEmail@psc.com asking to be added to the Piper Sandler "Do Not Email Registry." For additional disclosure information related to this e-mail see <http://www.pipersandler.com/disclosures>

Michael P. Visconti, Jr.
7 Muriel Lane
Milford, MA 01757
Phone: (508) 473-0014
E-mail: **19beachplum@gmail.com**
Twitter: @mpvjr2

1/12/2022

Re: Cultural Council

Dear Select Board Members:

My term on the Cultural Council is due to expire on February 11, 2022. Pursuant to Mass Cultural Council Guidelines, I am respectfully requesting that your Board appoint me for an additional 3-year term expiring on February 11, 2025. If you would like to interview me to discuss my qualifications, I will make myself available to meet with you at your convenience. Thank you for any time you spend considering my request. If you have any questions or require any additional information regarding this matter, please feel free to contact me at any time.

Be healthy,

Michael P. Visconti Jr.

Michael P. Visconti, Jr.



5-2
2-7-22

TOWN ACCOUNTANT

52 Main Street, Milford, MA 01757

Phone: 508-634-2309 * Fax: 508-634-2324

Email to Accountant

Email to Town Admin.

GIFT ACCEPTANCE FORM

Donor Name Nancy & Mike Ross Address 1 Green Needle Way

City, State, & Zip Acton, MA 01720 Phone _____

Name of Gift Donation in memory of Ron Taylor

Purpose Former Board Member Ron Taylor passed away

Total Amt. of Gift \$550.00

Contact Person Nancy & Mike Ross

Attached is a copy of correspondence received

There was no written correspondence with this gift

The Board of Selectmen/School Committee have been notified of this gift and have approved of the expenditures for the purpose stated

Board of Selectmen

School Committee

Chairman

Chairman

Contact Person _____

Town Accountant Use

Assigned Account Number _____

Date Received _____

In memory of
Ron Taylor.

Love, Nancy & Mike
ROSS



E-3
2-7-22

TOWN OF MILFORD
52 MAIN STREET, MILFORD, MASSACHUSETTS
508-634-2317 FAX 508-473-2394

CONSERVATION COMMISSION

January 20, 2022

Michael K. Walsh, Chairman
Milford Select Board
52 Main Street
Milford, MA 01757

RE: Proposed Warrant Articles - Open Space Parcels for Conservation Commission Jurisdiction

Dear Chairman Walsh,

At our 1-19-2022 meeting, the Conservation Commission voted to forward the attached four articles to the Select Board to be placed on the upcoming Annual Town Meeting Warrant. The four articles propose transferring jurisdiction of 8 Town-owned parcels to the Conservation Commission.

The purpose of these articles is to preserve the listed parcels for conservation purposes, including open space protection, wetlands protection, and for stormwater management. In the context of the MS4 Stormwater Permit, the possibility may exist for the installation of new stormwater treatment Best Management Practices (BMPs) such as Bioretention Areas. Therefore, the Conservation Commission requests that you place the attached articles on the Warrant for the upcoming Annual Town Meeting. The four Articles, with brief commentary for each, are attached for your convenience.

Your assistance in this matter is greatly appreciated.

Respectfully,



Michael Giampietro, Chairman
Milford Conservation Commission

Camp Street / Ivy Brook Corridor Parcels:

ARTICLE _____: To see if the Town will vote pursuant to M.G.L. c. 40 § 15 to transfer the care, custody and jurisdiction of the following 3 Town-owned parcels, totaling 12.89 acres, to the Milford Conservation Commission:

Assessors

<u>Map</u>	<u>Block</u>	<u>Lots</u>	<u>Area/Acres</u>
12	0	3	5.1
12	0	14	3.6
12	0	15	4.19

The purpose thereof is to preserve said parcels that are located south of Camp Street, for open space and wetlands protection, and for conservation purposes, as recommended in the Milford Comprehensive Plan, or take any other action in relation thereto.

(Conservation Commission)

Commentary:

These three parcels are remotely located, being from 640' to 1,780' south of Camp Street, and lying easterly off of Geneseo Circle, near the New England Power Co. power line easement. They are also located within the Ivy Brook corridor, and are adjacent to the permanent open space associated with the Village at Silver Hill Planned Residential Development. Protecting these three parcels will establish a large contiguous interior open space corridor of woods and wetlands extending over 3,600' in overall length.

Fiske Mill Road / Mill River Corridor Parcel:

ARTICLE _____: To see if the Town will vote pursuant to M.G.L. c. 40 § 15 to transfer the care, custody and jurisdiction of the following Town-owned parcel, totaling 12.0 acres, to the Milford Conservation Commission:

Assessors

<u>Map</u>	<u>Block</u>	<u>Lots</u>	<u>Area/Acres</u>
37	0	14	12.0

The purpose thereof is to preserve said parcel located in the Mill River corridor on Fiske Mill Road for wetlands and open space protection, stormwater management, and conservation purposes, as recommended in the Milford Comprehensive Plan, or take any other action in relation thereto.

(Conservation Commission)

Commentary:

This wooded 12-acre Mill River corridor parcel is on the west side of Fiske Mill Road. It is located between the road and the Mill River, and includes a portion of Mill Pond itself. It is one of the older undeveloped land holdings of the Town, with the deed having been recorded in 1825. This property is constrained by wetlands, and is within the 100-year floodplain associated with the Mill River. It could potentially support stormwater Best Management Practices (BMPs) associated with run-off from Fiske Mill Road.

Charles River Street Parcel:

ARTICLE _____: To see if the Town will vote pursuant to M.G.L. c. 40 § 15 to transfer the care, custody and jurisdiction of the following Town-owned parcel totaling 6.5 acres, to the Milford Conservation Commission:

Assessors

<u>Map</u>	<u>Block</u>	<u>Lots</u>	<u>Area/Acres</u>
53	0	7	6.5

The purpose thereof is to preserve said parcel located easterly off of Charles River Street along the Charles River, for aquifer and water resource protection, open space and wetlands protection, and for conservation and drinking water supply purposes, as recommended in the Milford Comprehensive Plan, or take any other action in relation thereto.

(Conservation Commission)

Commentary:

This partially wooded 6.5-acre parcel is located along the west side of the Charles River and off the easterly end of Charles River Street. This property is constrained by wetlands, and is entirely within the 100-year floodplain associated with the Charles River. It is also located in the Charles River aquifer directly north of the Godfrey Brook wellfield, and in the WR-1 Water Resource Protection zoning district. It could also potentially support stormwater Best Management Practices (BMPs) such as Bioretention Areas associated with run-off into the Charles River.

Howard Street / Charles River Corridor Parcels:

ARTICLE _____: To see if the Town will vote pursuant to M.G.L. c. 40 § 15 to transfer the care, custody and jurisdiction of the following 3 Town-owned parcels, totaling 16.65 acres, to the Milford Conservation Commission:

Assessors

<u>Map</u>	<u>Block</u>	<u>Lots</u>	<u>Area/Acres</u>
58	0	10	0.85
58	139	13	13.80
60	0	3	2.0

The purpose thereof is to preserve said parcels located off of Howard Street and adjacent to the Charles River, for aquifer and water resource protection, stormwater management, wetlands and open space protection, and conservation purposes, as recommended in the Milford Comprehensive Plan, or take any other action in relation thereto.

(Conservation Commission)

Commentary:

These three wooded parcels in the vicinity of Howard Street are constrained by wetlands, and are entirely within the 100-year floodplain associated with the Charles River. Parcels 58-0-10 & 58-139-13 are located in the Charles River aquifer, and in the WR-1 Water Resource Protection zoning district. Parcel 60-0-3 is directly across the Charles River from the Milford waste water treatment facility.